

## **MCRAE PLACE SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 48 lot, 19.0 acre  $\pm$  subdivision which is located on the south side of Johnson Road at the terminus of Cottage Grove Drive. The subdivision is served by both public water and sanitary sewer.

The purpose of this application is to resubdivide one parcel into 48 lots.

A subdivision for the same site was approved, with conditions, on April 8, 2005. This application presents a modified subdivision, increasing the number of lots by 2, and providing a street stub to the west.

The site fronts Johnson Road, a minor street with an existing 60-foot wide right-of-way. As a means of access management, a note should be placed on the final plat stating that Lots 1 and 48 are denied direct access to Johnson Road.

This subdivision application involves the creation of new streets; all new streets should be constructed to County Engineering standards and dedicated to the County. As the site abuts large undeveloped parcels to the east and south, street stubs to the east and south should be required. The Spring Brook subdivision to the west, as condition of its approval, required a street stub to the east; the developer of the Spring Brook Farms, Phase One subdivision has already platted the area where this application proposes a street stub, and a home is already under construction at the proposed street stub location, as verified by County Engineering. Therefore, the applicant should revise the proposed McRae Place subdivision so that the street stub to the west is located in the vicinity of lot 20, instead of between lots 30 and 31.

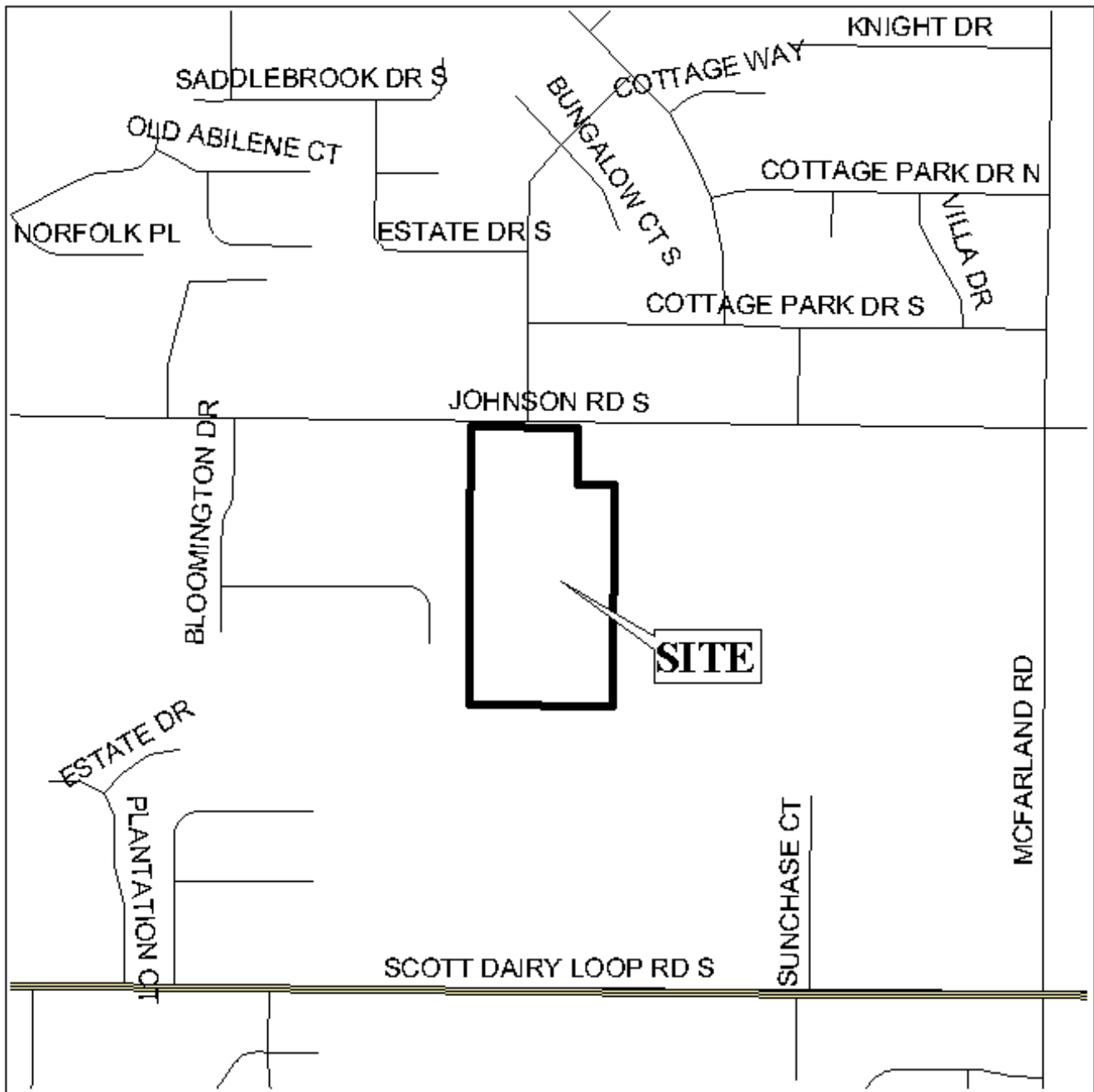
The required 25-foot building setback lines are not shown but would be required on the final plat.

The islands within the roadways should be labeled as common areas, and a note should be placed on the final plat stating that the maintenance of the common areas and detention area shall be the responsibility of the property owners. Additionally, the site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

With modifications, the plat will meet the requirements of the Subdivision Regulations, and is recommended for Tentative Approval, subject to the following conditions: 1) the placement of a note on the final plat stating that Lots 1 and 48 are denied direct access to Johnson Road; 2) the provision of street stubs to the East and South, and a revised street stub to the West near lot 20 to connect with Spring Brook Farms, Phase One; 3) the construction and dedication of the new streets; 4) the depiction of the 25' building setback lines on the final plat; 5) labeling of all islands within the roadways as common areas; 6) the placement of a note stating that

maintenance of common areas and the detention area shall be the responsibility of the property owners; and 7) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

## LOCATOR MAP



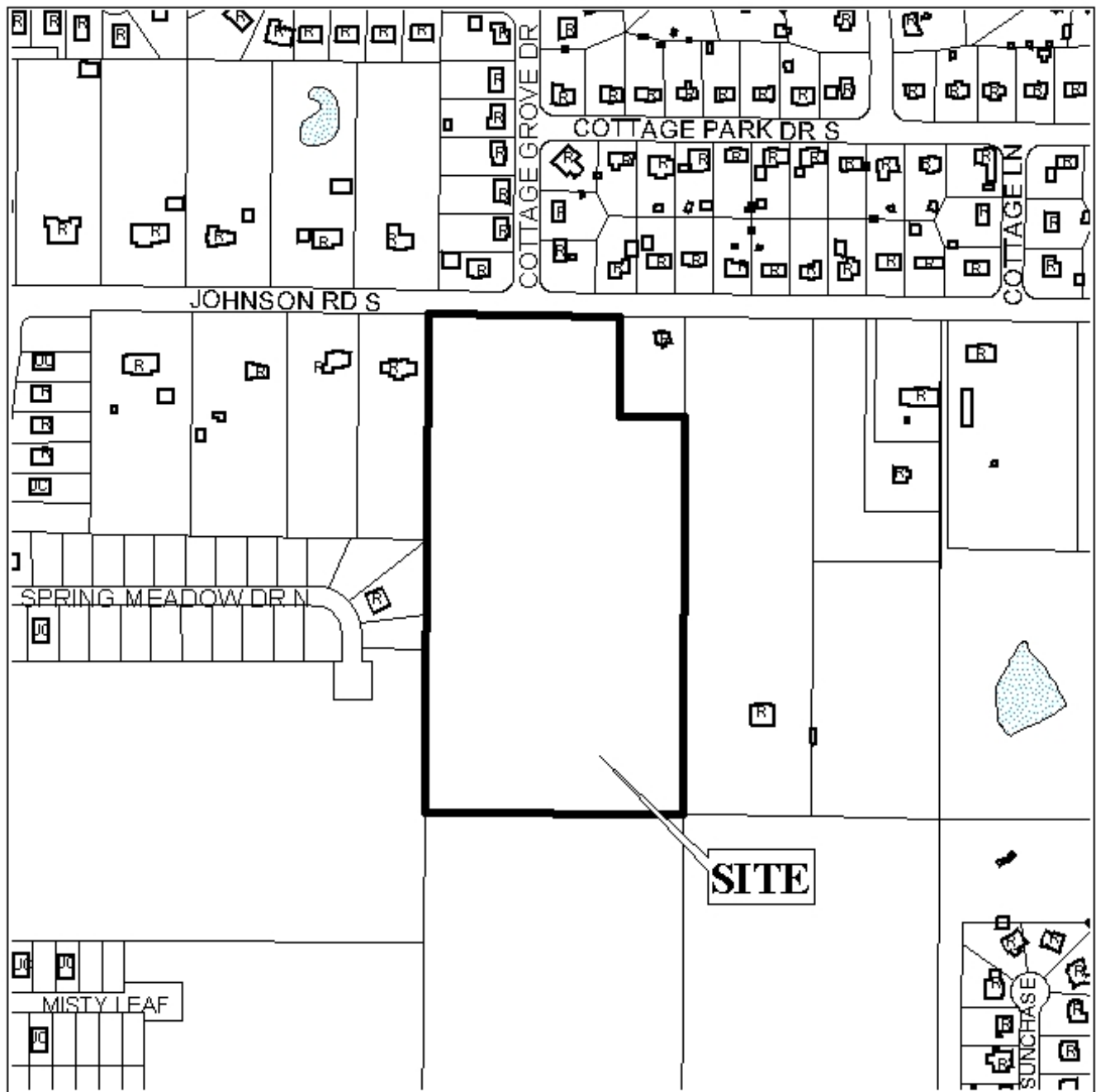
APPLICATION NUMBER 18 DATE May 19, 2005

APPLICANT McRae Place Subdivision

REQUEST Subdivision



# MCRAE PLACE SUBDIVISION



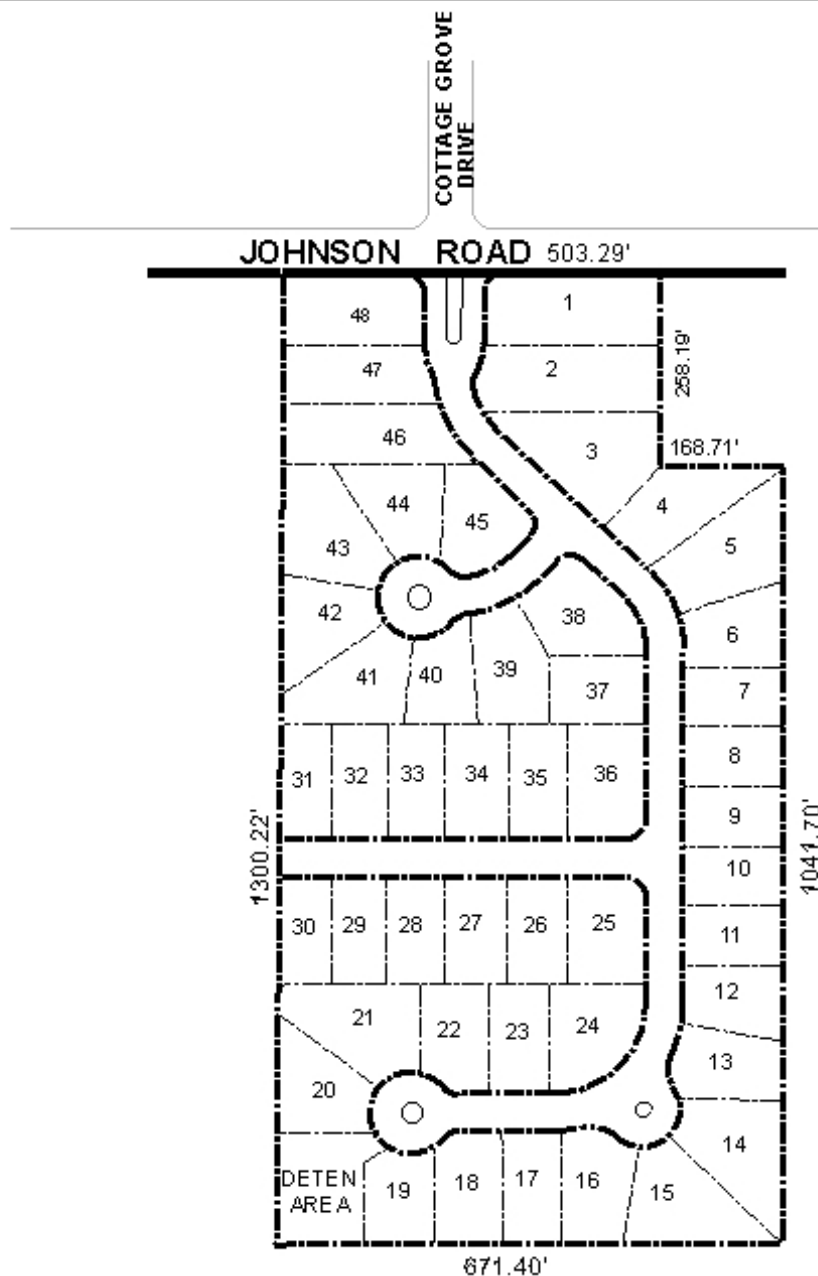
APPLICATION NUMBER 18 DATE May 19, 2005

LEGEND



NTS

# DETAIL SITE PLAN



APPLICATION NUMBER 18 DATE May 19, 2005  
APPLICANT McRae Place Subdivision  
REQUEST Subdivision

