

HOLDOVER

Revised

OAKSTONE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 49 lot, 32.6 \pm acre subdivision which is located at the southeast corner of Laurendine Road and Lancaster Road. The subdivision is served by public water and individual septic systems.

The purpose of this application is to create a 49-lot subdivision from one parcel.

The site fronts onto Lancaster Road and Laurendine Road. Lancaster Road is a minor street, and the existing right-of-way meets the minimum width requirements for minor streets. Laurendine Road, with an existing right-of-way of 80 feet, is a proposed major street, and as such its right-of-way should be 100-feet wide according to the Major Street Plan. Therefore, the dedication of an additional 10-feet should be required along the site's Laurendine Road frontage.

As Laurendine Road is a proposed major street, access management is a concern. The subdivision, as currently designed, depicts lots 1, 48 and 49 having frontage on Laurendine Road. Lot 1 also fronts Lancaster Road, thus it should be restricted to having access only onto Lancaster Road in order to prevent an additional curb cut onto Laurendine Road. Lots 48 and 49 should also be limited in their access to Laurendine Road; lot 48 should be permitted one curb cut onto Laurendine Road, while lot 49, due to its 500-foot \pm frontage on Laurendine Road, should be limited to a maximum of two curb cuts. The size, location and number of all proposed curb cuts onto Lancaster and Laurendine Road must be reviewed and approved by the Mobile County Engineering Department.

The proposed subdivision will have 11 lots that have direct access to either Lancaster or Laurendine Roads, as well as 38 lots that will only have access to a proposed cul-de-sac. The cul-de-sac, Oakstone Drive, is approximately 1,600 feet long. According to Section V.B.6. of the Subdivision Regulations, "*closed-end streets (cul-de-sacs) shall not be longer than 600 feet...*" Long cul-de-sacs present a potential emergency access safety hazard, and it appears that the subdivision could be reconfigured to continue the proposed Oakstone Drive to Laurendine Road, eliminating the cul-de-sac configuration. Reconfiguration of the subdivision to continue Oakstone Drive to Laurendine Road would potentially allow lots 48 and 49 direct access to Oakstone Drive instead of Laurendine Road. The applicant should also consider the need for traffic calming devices for Oakstone Drive.

The 25-foot minimum building setback line from the right-of-way is not shown but would be required on the Final Plat, if approved.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

The eastern portion of the site appears to be within the FEMA designated “100-year” floodplain of Muddy Creek, and wetlands associated with the creek may occur on a portion of the site. According to County Engineering staff, it appears that no detailed floodplain or floodway determination has been made for this site, therefore, a study may be required. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits.

The plat also shows a detention pond proposed for the eastern side of the subdivision, without any indication of access via easement or dedicated street, and within the FEMA designated 100-year floodplain. Generally speaking, detention ponds located within floodplains do not provide sufficient detention capacity, and the location of such a pond within the floodplain may reduce the capacity of the floodplain, as well as not be in compliance with the Mobile County Flood Damage Prevention Ordinance. Therefore, the applicant should consult with the Mobile County Engineering Department to determine the appropriate location of the proposed detention pond. The applicant should also revise the plat to indicate how the detention pond will be accessed, in conformance with Sections VI.C.3. and VII.B.2.

Finally, the written Legal Description and the drawn plat appear to have numerous errors, including missing or incorrect dimensions, and incorrect or missing bearings. Furthermore, the plat is drawn at a scale of 1-inch equals 150 feet, which is a non-standard engineering scale, and thus is not in conformance with Section IV.A.1.

Based upon the proceeding, the plat is recommended for Holdover for the following reasons: 1) revision of the plat to address cul-de-sac length issues in accordance with Section V.B.6.; 2) revision of the plat to reflect the relocation of the detention pond, if necessary, as approved by County Engineering (if relocation requires significant reconfiguration of lots or roadway, a new application will be required); 3) indication of access to the detention pond, in accordance with Sections VI.C.3. and VII.B.2.; 4) correction of all written and depicted dimensions and bearings in the Legal Description and on the plat; and 5) the provision of a plat drawn to a standard engineering scale.

Revised for the May 19th meeting:

The revised plat illustrates the proposed 51 lot, 32.6 ± acre subdivision, reflecting an increase of two lots over the original plat.

The proposed subdivision will have 11 lots that have direct access to either Lancaster or Laurendine Roads, as well as 40 lots that will only have access to the proposed Oakstone Drive. Oakstone Drive, revised to provide a street stub to the south, is approximately 1,600 feet long to the first turn-around location. Due to the extreme length of the proposed street, the applicant

should provide traffic calming devices in the vicinity of lots 42/43 and 22/35 in order to reduce traffic speeds on the street.

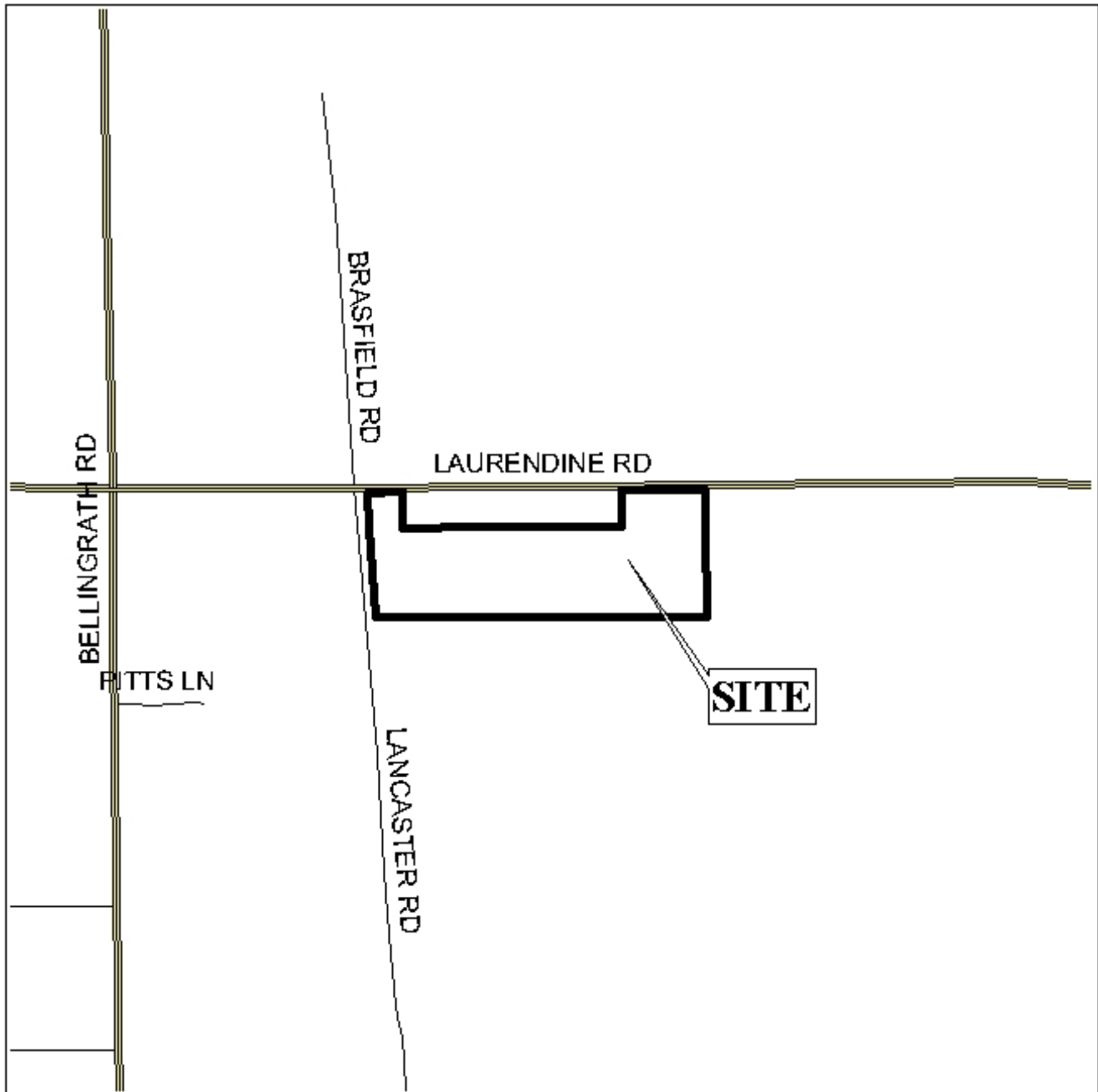
If the calming devices utilized are landscaped traffic islands, these islands, as well as the island provided in the vicinity of lots 25, 29 and 30, should be labeled as common areas, and a note should be placed on the final plat stating that maintenance of the common areas is the responsibility of the subdivision's property owners.

The revised plat shows a relocated detention pond, which appears to be located within the 500-year floodplain, but outside of the 100-year floodplain. The plat has also been revised to show access to the detention pond, in conformance with Sections VI.C.3. and VII.B.2. The applicant should consult with the Mobile County Engineering Department to confirm the appropriate location of the proposed detention pond. Additionally, a note should be placed on the final plat stating that maintenance of the detention basin common area is the responsibility of the subdivision's property owners.

Finally, the written Legal Description and the drawn plat have errors; the southern boundary of the site's length, "2,126.87 feet," is described in the Legal Description as "21,226.86 feet." The bearing of "N 89d 20m 00s E," located on the northwest corner of the site along Laurendine Road, is missing the length dimension of "208.41 feet" that is provided in the Legal Description.

Based upon the proceeding, the revised plat is recommended for Tentative Approval, subject to the following conditions: 1) placement of a note on the final plat stating that traffic calming devices are to be provided, as approved by the Mobile County Engineering Department, in the vicinity of lots 42/43 and 22/35; 2) placement of a note on the final plat stating that the maintenance of common areas and the detention pond is the responsibility of the subdivision's property owners; 3) the dedication of an additional 10-feet along the site's Laurendine Road frontage; 4) placement of a note on the final plat stating that Lot 1 is restricted to access only onto Lancaster Road, that lot 48 is permitted one curb cut onto Laurendine Road, and that lot 49 is limited to a maximum of two curb cuts, with the size, location and design of all proposed curb cuts to be approved by the Mobile County Engineering Department; 5) correction of all written and depicted dimensions and bearings in the Legal Description and on the plat; 6) depiction of the 25-foot minimum building setback line from the dedicated rights-of-way; 7) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; 8) dedication and construction of roads to Mobile County standards; and 9) approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits.

LOCATOR MAP



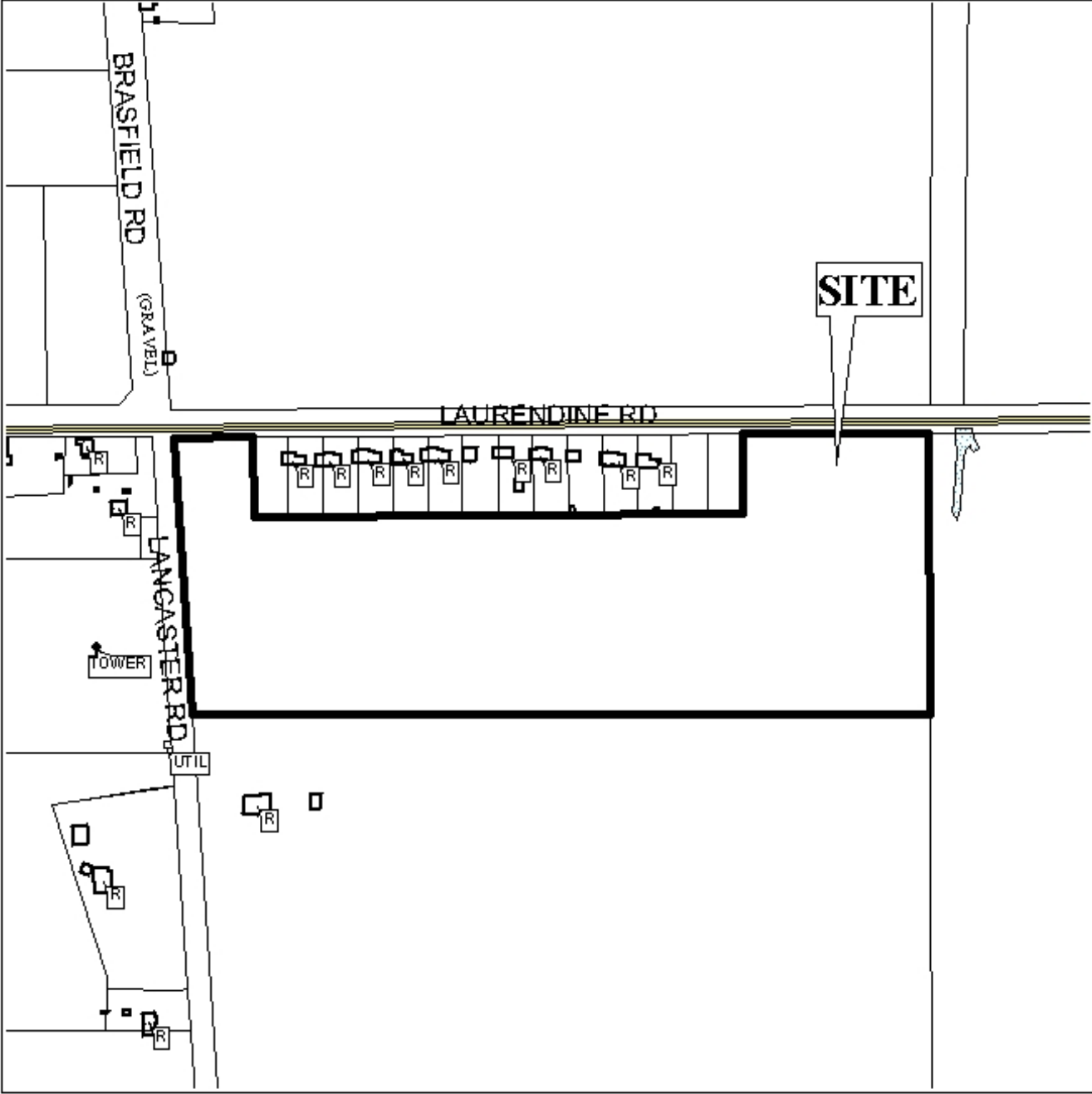
APPLICATION NUMBER Holdover DATE May 19, 2005

APPLICANT Oakstone Subdivision

REQUEST Subdivision



OAKSTONE SUBDIVISION

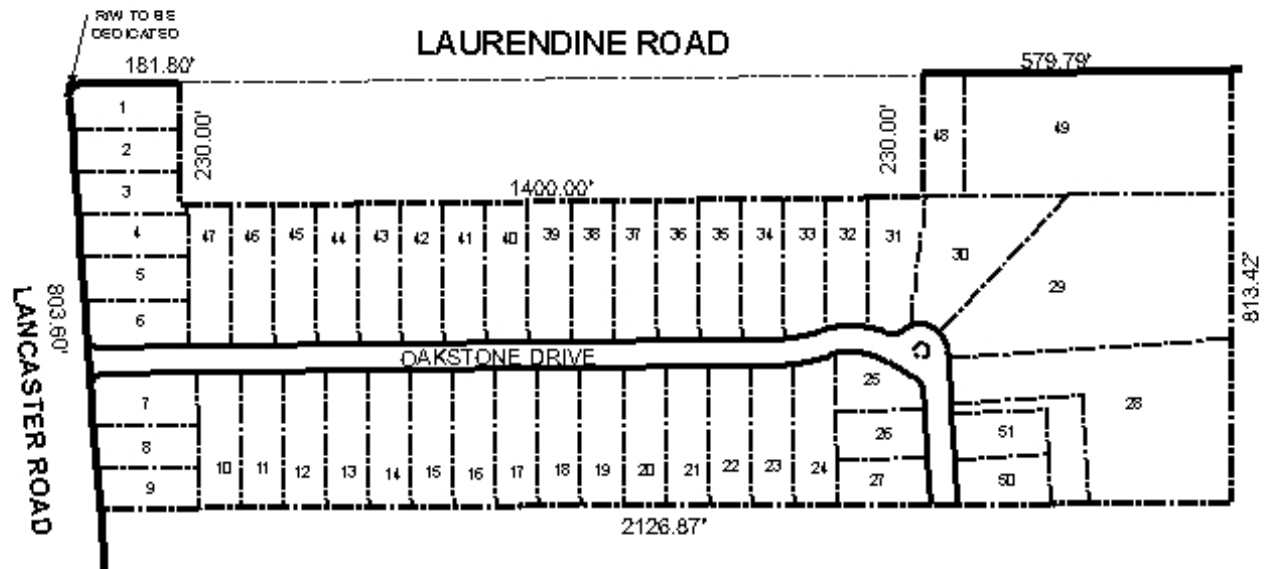


APPLICATION NUMBER Holdover DATE May 19, 2005

LEGEND



DETAIL SITE PLAN



APPLICATION NUMBER Holdover DATE May 19, 2005
APPLICANT Oakstone Subdivision
REQUEST Subdivision

