

# **HERON LAKES SUBDIVISION, PHASE TWO,** **CORRECTED PLAT, RESUBDIVISION OF AND** **ADDITION TO LOT 123**

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All single-family or two-family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed 35,745  $\pm$  square foot, 3 lot subdivision which is located at the northeast terminus of Blue Heron Ride, and is in Council District 4. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to create a three-lot subdivision from one existing lot and a portion of one parcel. Subdivision applications that fail to include the full extent of parcels are generally heldover in order to give the applicant the opportunity to revise the application. This action supports the stated policy of the Subdivision Regulations to encourage orderly development, as outlined in Section I.B.1.

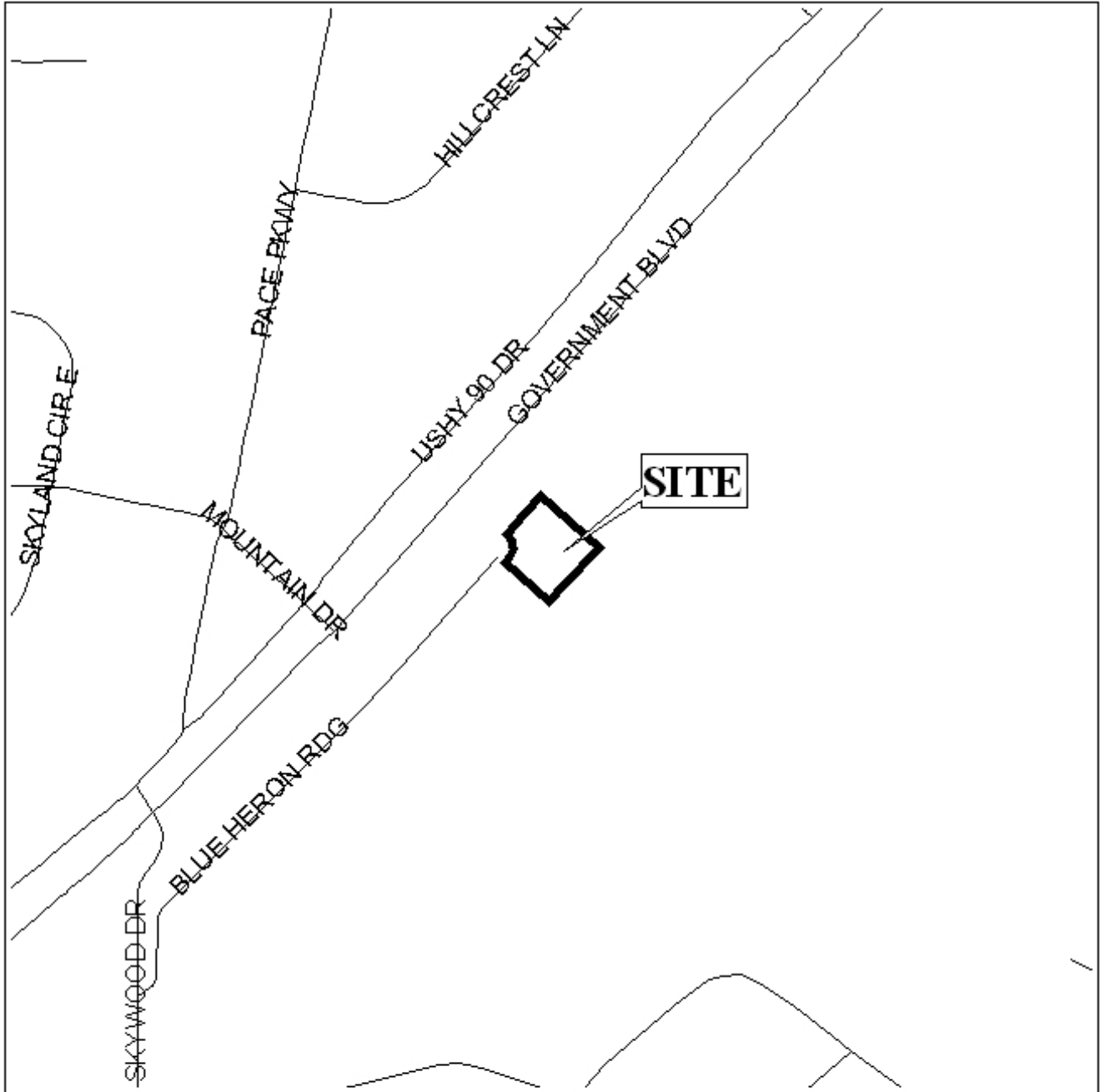
As this application is for a lot that is part of a Planned Unit Development (PUD) that was approved on June 20, 2000, an application to revise the PUD will be required. Previous applications revising the original PUD, which have been approved, have requested increased site coverage as well as additional changes to setback requirements; therefore the applicant should ensure that the application to revise the PUD for this proposed subdivision include all anticipated setback and site coverage changes desired for the proposed subdivision.

The proposed lot 3's depth to width ratio is approximately 4.7 (depth is 4.7 times the width of the lot at the minimum building setback line), which is greater than the 3.5 recommended in Section V.D.3. of the Subdivision Regulations. Lot 3's high depth to width ratio is due to the lot being flag-shaped in order to provide maximum frontage onto the existing golf course. Due to an existing building east of the proposed lot 3, options to reconfigure the lot are somewhat limited. Therefore, a waiver of Section V.D.3. could be considered appropriate.

Finally, three of the bearings illustrated on the plat conflict with the written description. The bearings on the plat should correspond with the written description on the Final Plat.

Based upon the proceeding, the plat is recommended for Holdover for the following reasons: 1) the proposed subdivision will require the amendment of an existing PUD, therefore the applicant must submit an application to amend the existing Planned Unit Development so that the subdivision and PUD applications may be reviewed concurrently; 2) the submission of a revised plat to include all parcels that are part of the subdivision request, as well as any additional property-owner notification information; and 3) the correction of the directional bearings to agree with the written description of the site boundaries.

## LOCATOR MAP



APPLICATION NUMBER 22 DATE April 21, 2005

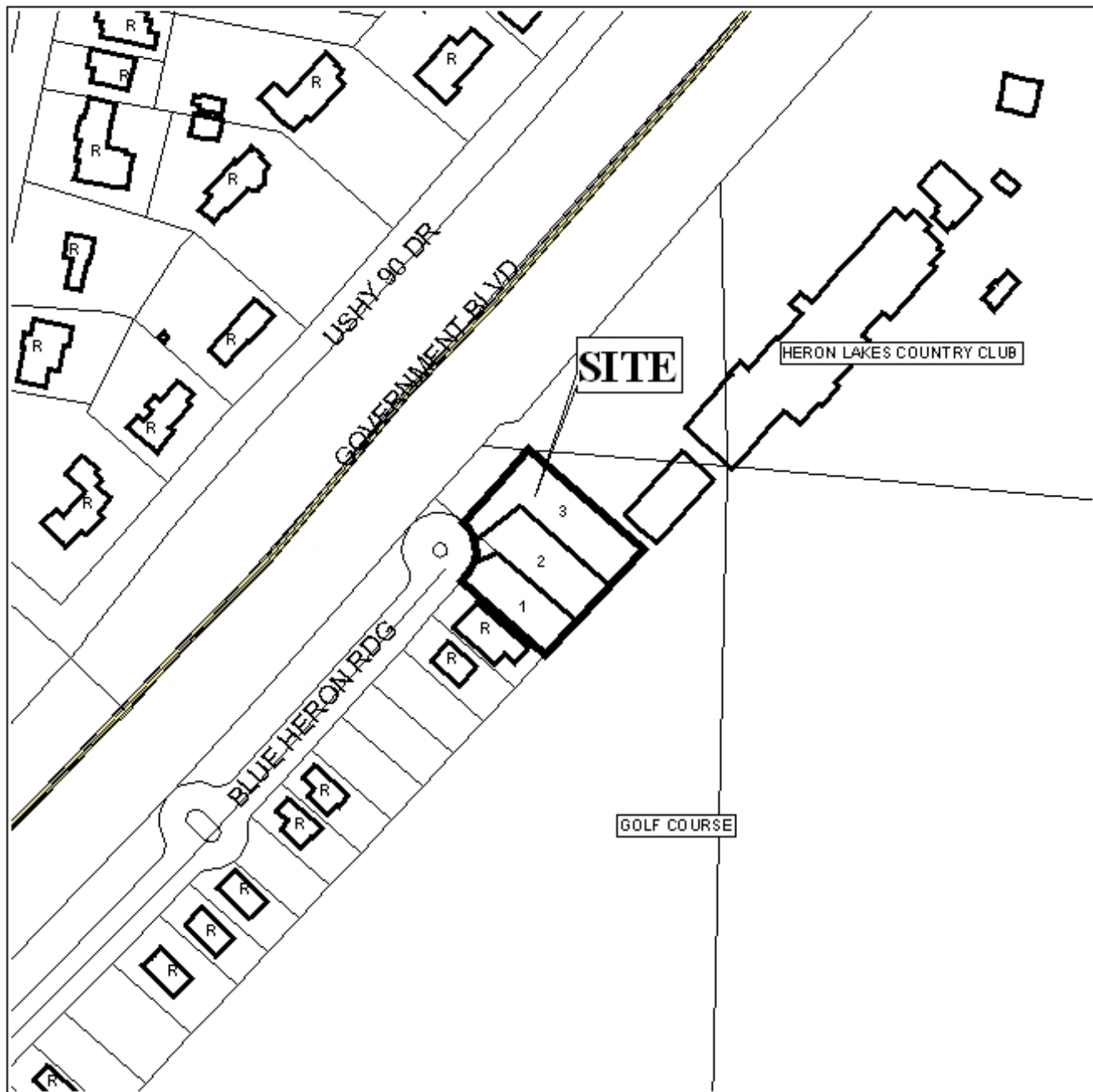
APPLICANT Heron Lakes Subdivision, Phase Two, Corrected Plat, Resubdivision of and Addition to Lot 123

REQUEST Subdivision



NTS

HERON LAKES SUBDIVISION, CORRECTED PLAT,  
RESUBDIVISION OF AND ADDITION TO LOT 123



APPLICATION NUMBER 22 DATE April 21, 2005

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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