

## **EQUIPMENT SALES SUBDIVISION**

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed 5.7 acre  $\pm$ , 1 lot subdivision which is located on the east side of Western Drive, 180 feet  $\pm$  north of Mill Street, extending to the north side of Mill Street, 915 feet  $\pm$  east of Western Drive, and is in Council District 1. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to create one lot from two existing lots. The site has a distribution center on the lot abutting Western Drive, and has a small warehouse on the 52-foot wide portion of the lot that fronts Mill Street.

The site is zoned I-1, Light Industrial, and is surrounded by other properties zoned I-1. To the south, west and north of the site are office, warehouse and manufacturing uses, while to the east and north east of the site are undeveloped properties.

The site fronts onto two streets: Western Drive to the west and Mill Street to the south. Western Drive was at one time a component of the Major Street Plan, and because of this the preliminary plat depicts "*An area reserved for future purchase by the City of Mobile for additional right of way*" on the portion of the site that abuts Western Drive. Since Western Drive has an existing right-of-way of 50 feet and has been removed from the Major Street Plan, the reservation for additional right-of-way is no longer necessary. Thus the plat should be revised to remove the reservation, and correspondingly adjust the 25-foot minimum building setback line.

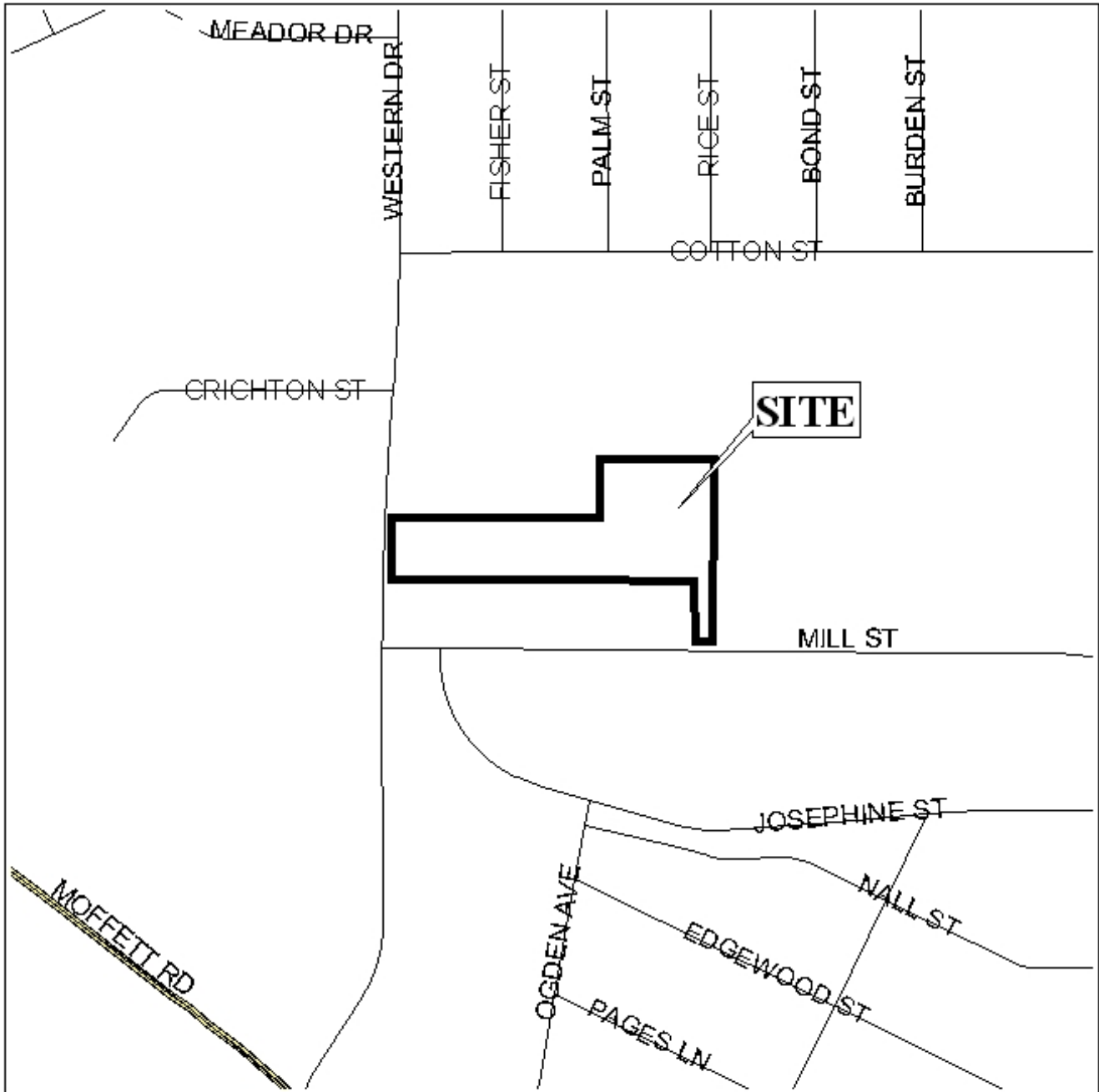
The site currently has one curb cut to Western Drive, while access to Mill Street appears to be limited due to the existing small warehouse on the 52-foot wide portion of the lot. As two separate lots, one curb cut to their respective frontage streets would have been permitted. Therefore, the resubdivision into one lot should be limited to a maximum of two curb cuts: one to Western Drive and one to Mill Street. Changes to existing curb cuts, or proposals for new or relocated curb cuts, must be reviewed and approved by Traffic Engineering.

The proposed lot's depth to width ratio is approximately 5 (depth is 5 times the width of the lot at the minimum building setback line), which is greater than the 3.5 recommended in Section

V.D.3. of the Subdivision Regulations. The proposed lot's high depth to width ratio is due to the combining of two lots, one of which is flag-shaped, and which has frontage on Mill Street. Other lots in the area do not reflect similar depth to width ratios. However, the large size of the block containing this site, and the existing development along the edges of the block, provide evidence that alternatives to the subdivision as proposed may not be possible. Thus a waiver of Section V.D.3. could be considered appropriate.

With a waiver of Section V.D.3., the plat is recommended for Tentative Approval, subject to the following conditions: 1) revision of the plat to remove the area reserved for future right-of-way, and corresponding adjustment of the 25-foot minimum building setback line; and 2) placement of a note on the Final Plat stating that the lot is limited to a maximum of two curb-cuts, one to Western Drive and one to Mill Street, with the size and location to be approved by Traffic Engineering.

# LOCATOR MAP



APPLICATION NUMBER 20 DATE April 21, 2005

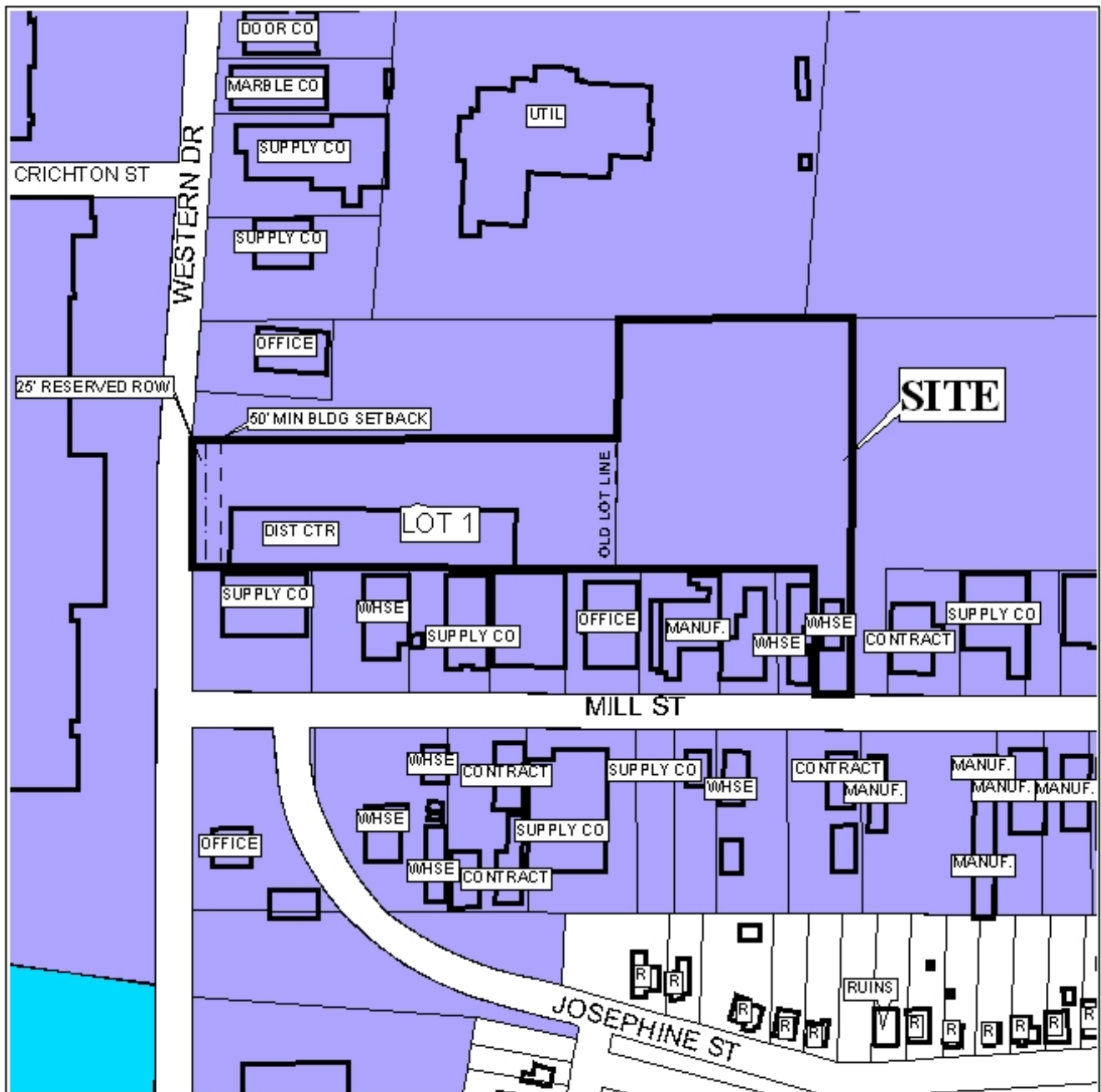
APPLICANT Equipment Sales Subdivision

REQUEST Subdivision



NTS

# EQUIPMENT SALES SUBDIVISION



APPLICATION NUMBER 20 DATE April 21, 2005

LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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