

**MIDTOWN PARK SUBDIVISION, 2<sup>ND</sup> UNIT,**  
**RESUBDIVISION OF LOTS 6, 7, 8, 9, 10 AND 11,**  
**RESUBDIVISION OF**

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

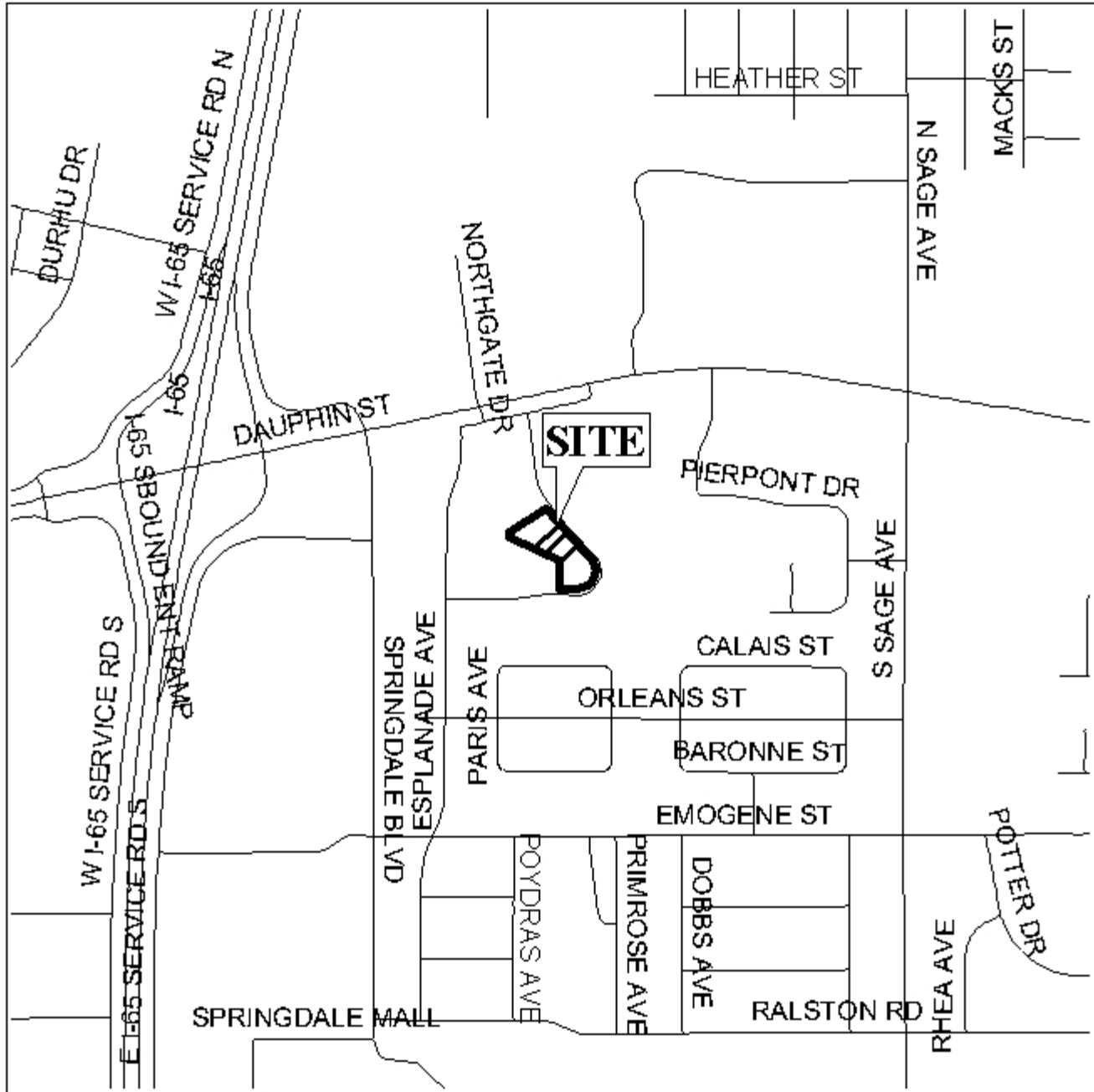
The plat illustrates the proposed 5 lot, 1.9 ± acres subdivision which is located on the West side of Midtown Park East, 500' ± South of Dauphin Street and is in City Council District 5. The subdivision is served by public water and sanitary sewer.

The original plat submitted to Urban Development reflected that one of the lots proposed would not meet the requirements of Section V.D.2. (minimum width of 60-feet) of the Subdivision Regulations. The applicant has since submitted a new plat reflecting a four-lot subdivision with all lots meeting the required lot sizes.

As a means of access management, a note should be placed on the final plat stating that the size, location and design of curb cuts for Lot 4 must be approved by Traffing Engineering.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following condition: 1) a note should be placed on the final plat stating that the size, location and design of curb cuts for Lot 4 must be approved by Traffing Engineering.

# LOCATOR MAP








APPLICATION NUMBER 24 DATE May 6, 2004

APPLICANT Midtown Park Subdivision, 2nd Unit, Resubdivision  
of Lots 8, 9, 10 and 11, Resubdivision of

REQUEST Subdivision NTS



LEGEND

													
R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

