

McGOWIN NORTH SUBDIVISION, UNIT 2

Engineering Comments: Significant outfall problems associated with development of this property and will seriously aggravate drainage concerns of Belvedere Park Sub. Outfall problems should be resolved by developer prior to development of property. Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat illustrates the proposed 6 lot, 11.9 \pm acre subdivision which is located on the East side of McVay Drive, 700' \pm North of Halls Mill Road. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to create six lots from a metes and bounds parcel.

These six lots, as well as the four recorded lots to the South, were granted Tentative Approval as an 11-lot subdivision in December 2002. A condition of that approval was that the 11 lots were limited to six curb cuts to McVay Drive. There is a note on the final plat for the four lots that were recorded that stated the four lots are limited to two curb cuts to McVay Drive. Therefore, the six lots should be limited to four curb cuts to McVay Drive. This would be consistent with the prior approval.

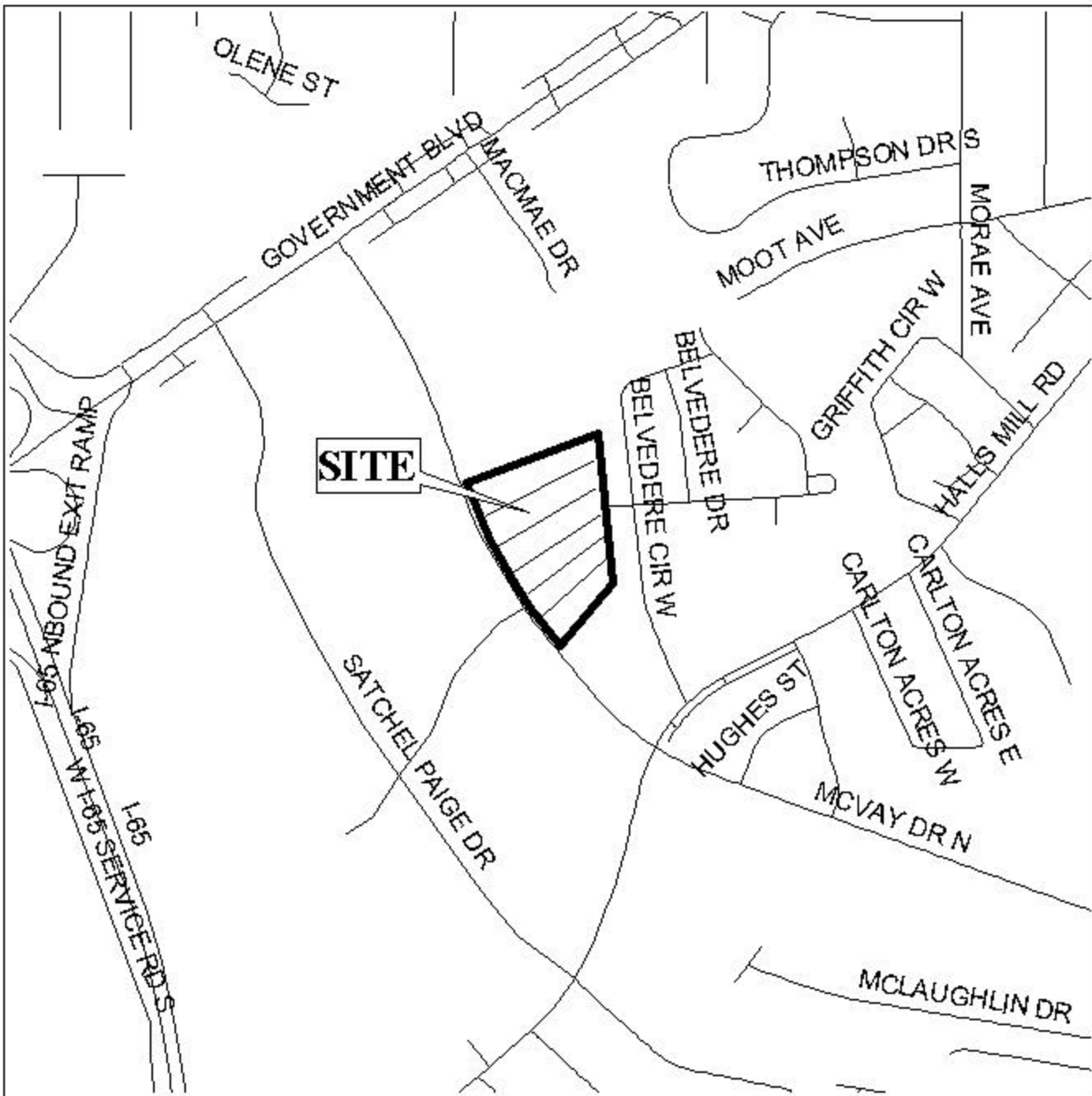
Also, the placement of a note on the final plat stating that direct access to Belvedere Circle South is denied.

As proposed, Lots 5, through 10 would exceed the width to depth ratio, therefore a waiver of Section V.D.3. would be required.

The 25-foot minimum building setback lines are not shown but would be required on the final plat.

With a waiver of Section V.D.3., the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the placement of a note on the final plat stating that the six lots should be limited to four curb cuts to McVay Drive; 2) the placement of a note on the final plat stating that direct access to Belvedere Circle South is denied; and 3) the placement of the 25-foot minimum setback lines on the final plat.

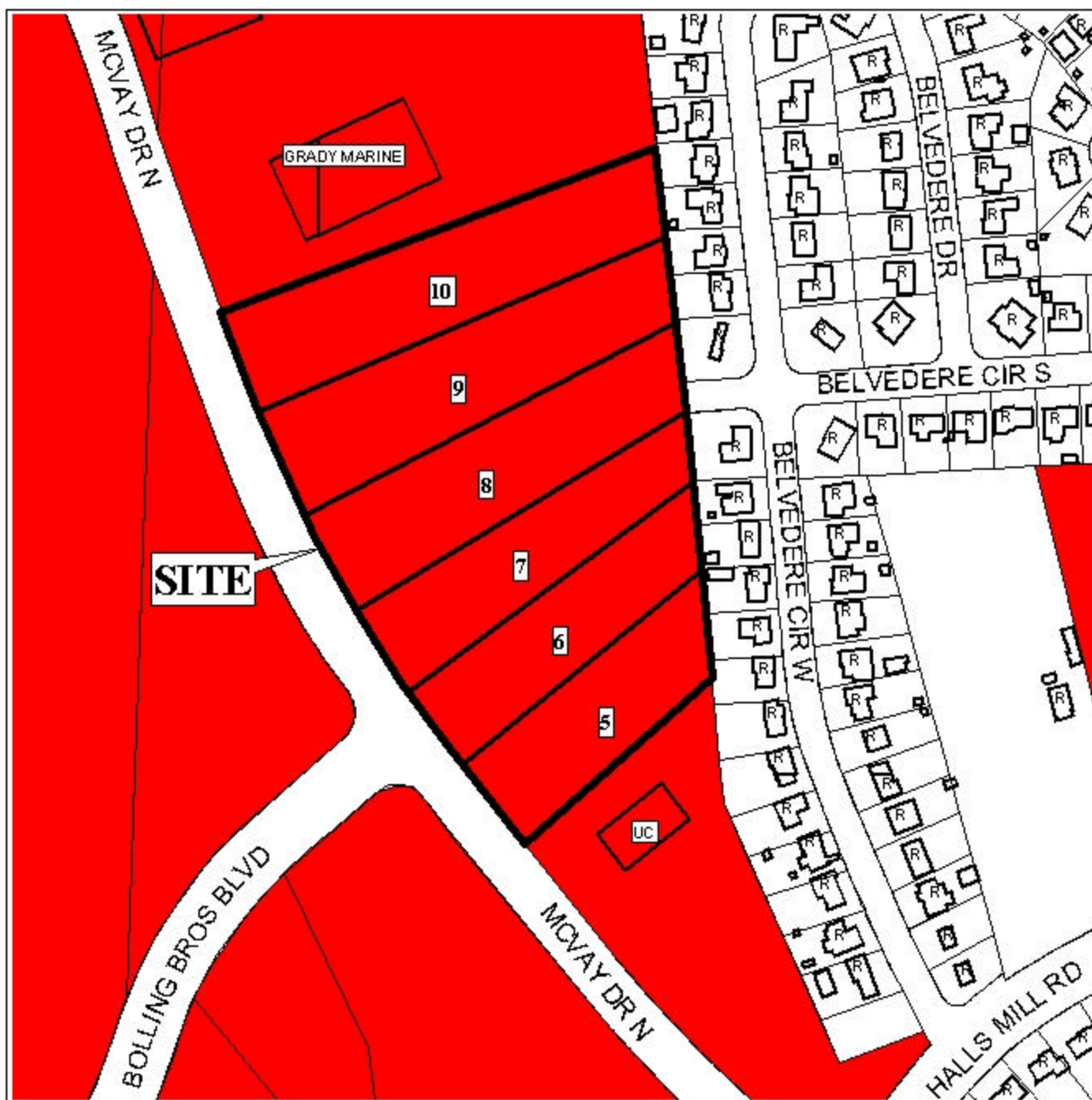
LOCATOR MAP



APPLICATION NUMBER 16 DATE December 4, 2003
 APPLICANT McGowin North Subdivison, Unit Two
 REQUEST Subdivision

NTS

McGOWIN NORTH SUBDIVISION, UNIT TWO



APPLICATION NUMBER 16 DATE December 4, 2003

LEGEND



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