

MALLON ESTATES SUBDIVISION, **RESUBDIVISION OF LOT A**

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

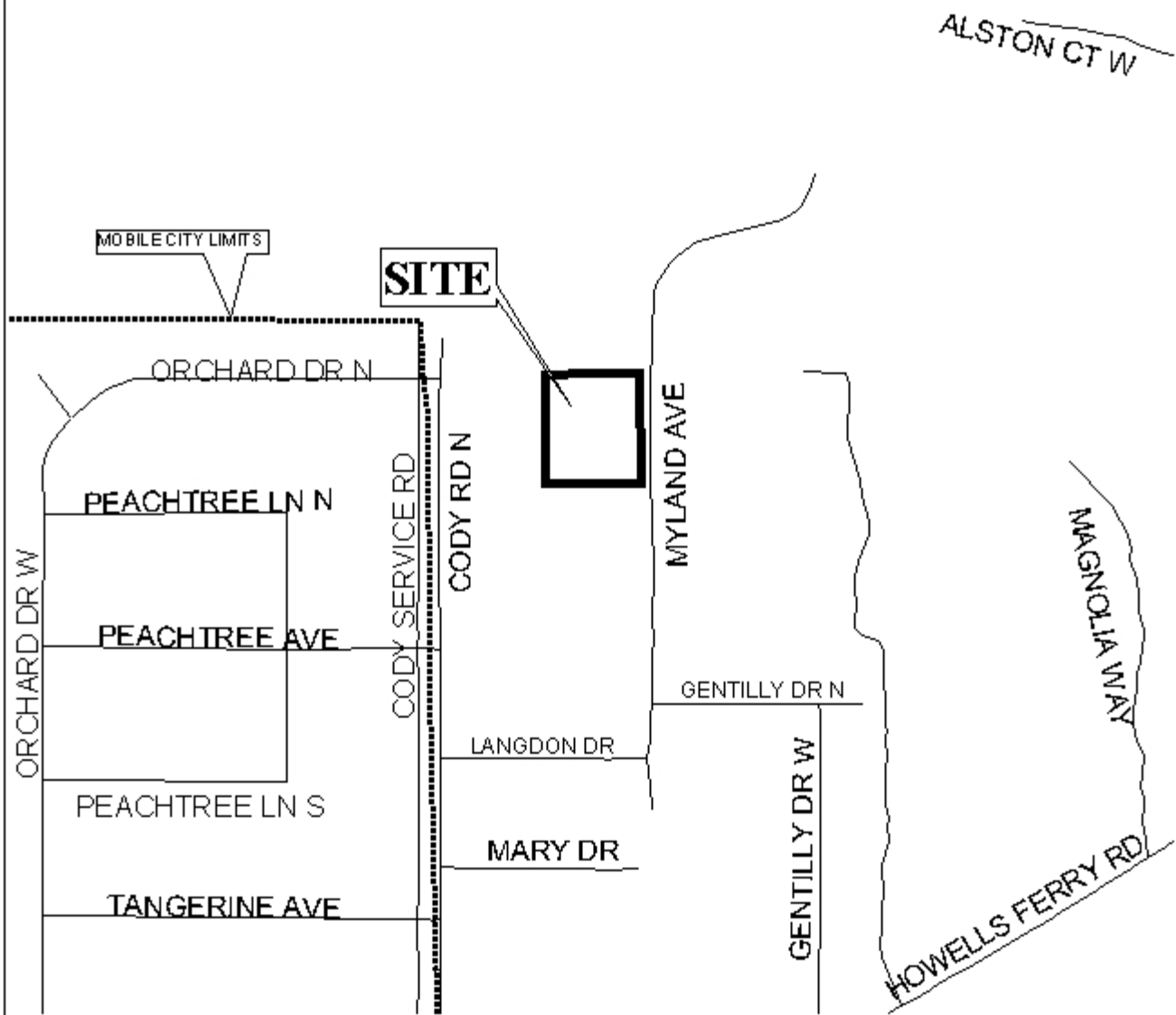
Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The plat illustrates the proposed 2 lot, 2.2 ± acres subdivision which is located on the West side of Myland Avenue, 166' ± South of its North terminus and is in City Council District 7. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to subdivide one lot into two lots.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval.

LOCATOR MAP



APPLICATION NUMBER 23 DATE May 6, 2004

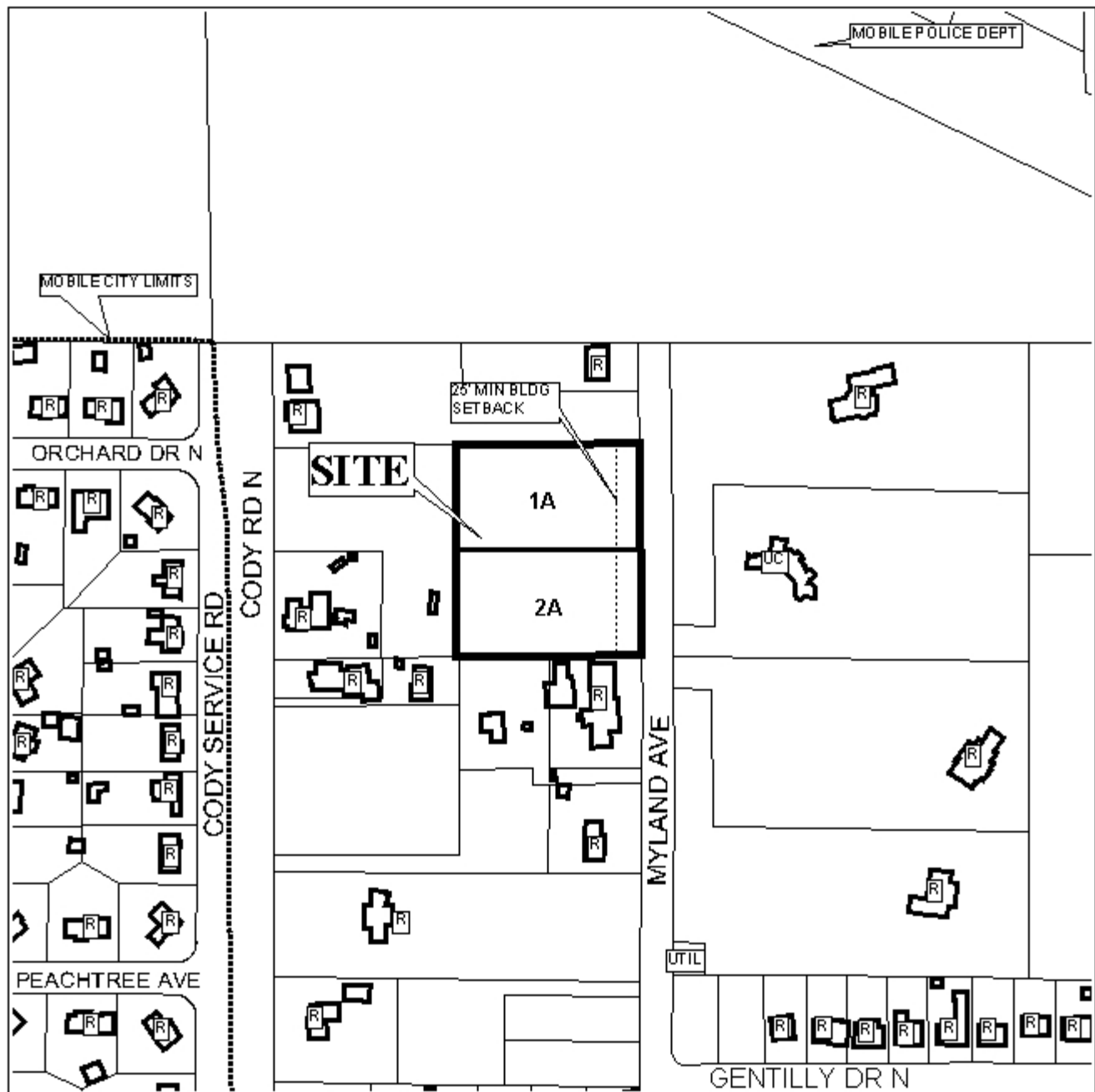
APPLICANT Mallon Estates Subdivision, Resubdivision of Lot A

REQUEST Subdivision



NTS

MALLON ESTATES SUBDIVISION, RESUBDIVISION OF LOT A



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LEGEND

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| R-1 | R-2 | R-3 | R-A | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



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