

MAGNOLIA BRANCH ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 3 lot, 11.6 \pm acres subdivision which is located on the North side of Hamilton Boulevard, 760' \pm West of Viking Way. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to create a three-lot subdivision from a legal lot of record. It should be noted that the area labeled future development on the plat would require subdivision approval from the Commission for any development.

The site fronts Hamilton Boulevard, a planned major street, which has an existing right-of-way shown as 80 feet; the Major Street Plan requires a 100-foot right-of-way. Therefore, the dedication from the centerline of Hamilton Boulevard, to provide for the right-of-way of the planned major street, should be required. Additionally, as a means of access management, the placement of a note on the final plat stating that Lots 1, 2 and 3 are limited to one curb cut each to Hamilton Boulevard, with the size, location and design to be approved by County Engineering, should be required.

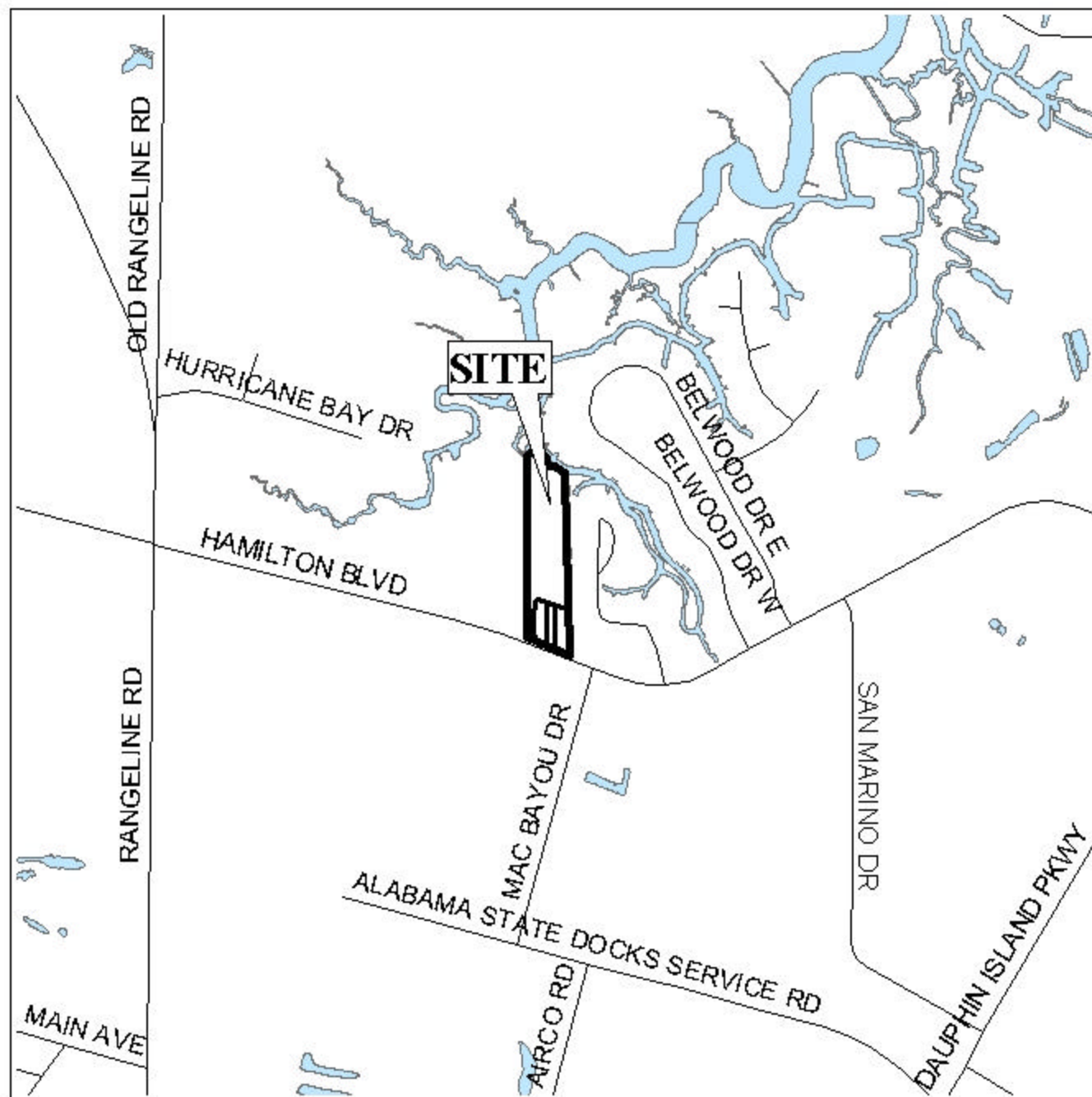
As proposed, Lots 2 and 3 would exceed the width to depth ratio, therefore a waiver of Section V.D.3. would be required. It should be noted that the waiver is recommended due to the flood zones located on the site.

As indicated on the Detail Map, the site is located in the 100-year floodplain and as such the area may be considered environmentally sensitive; therefore, the approval of any necessary federal, state and local agencies would be required.

This site is located in the County, thus a note should be placed on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

With a waiver of Section V.D.3., the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of sufficient right-of-way from the centerline of Hamilton Boulevard; 2) the placement of a note on the final plat stating that Lots 1, 2 and 3 are limited to one curb cut each to Hamilton Boulevard, with the size, location and design to be approved by County Engineering; 3) the developer to obtain the necessary approvals from federal, state and local agencies prior to the issuance of any permits; and 4) the placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP

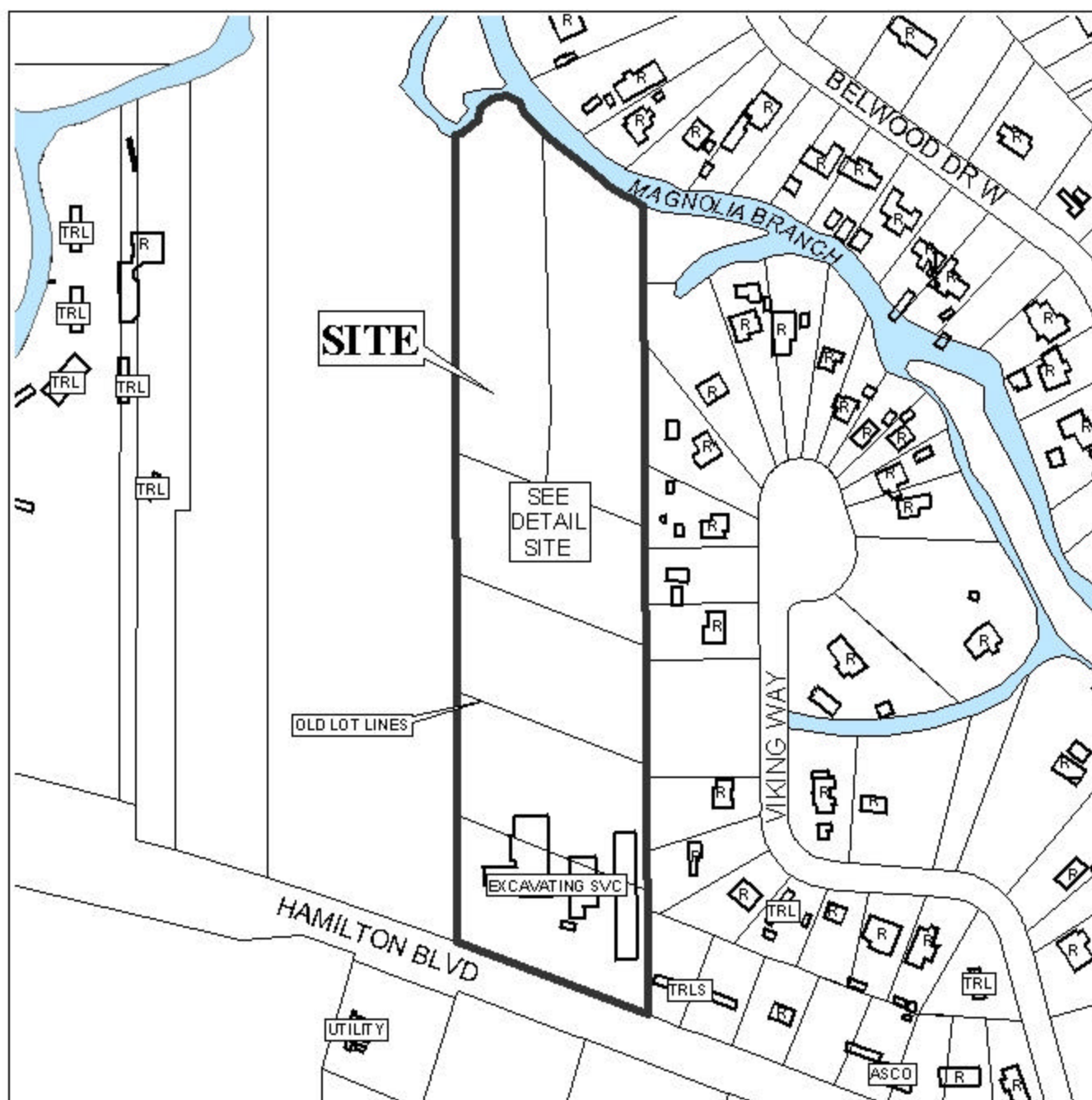


APPLICATION NUMBER 17 DATE December 18, 2003
APPLICANT Magnolia Branch Estates Subdivision
REQUEST Subdivision



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MAGNOLIA BRANCH ESTATES SUBDIVISION



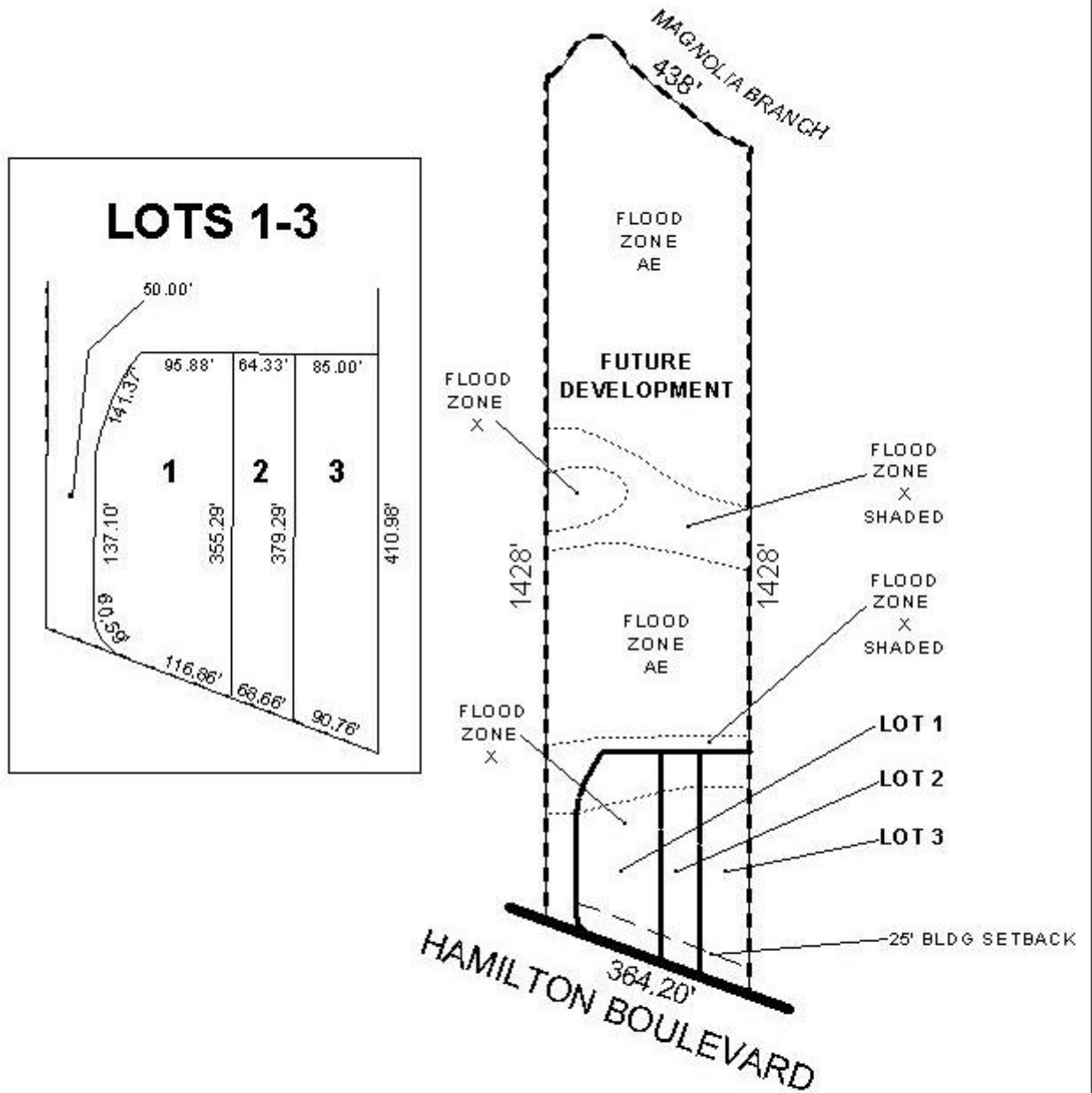
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LEGEND



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DETAIL SITE PLAN



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 USE/REQUEST Subdivision

