

**ZONING AMENDMENT,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT**

Date: December 4, 2003

NAME

Loupe, Loupe & Ragusa, L.L.C.

DEVELOPMENT NAME

The Reserve @ Knollwood & Girby Roads

LOCATION

North side of Girby Road, 550'± West of the North terminus of Pepper Ridge Drive

PRESENT ZONING

B-1, Buffer Business, B-2, Neighborhood Business and R-3, Multi-Family Residential

PROPOSED ZONING

R-1, Single-Family Residential

AREA OF PROPERTY

70± Acres

CONTEMPLATED USE

Single-family residential subdivision with reduced lot sizes, reduced building setbacks and increased site coverage

It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.

**TIME SCHEDULE
FOR DEVELOPMENT**

None given

**ENGINEERING
COMMENTS**

Development will impact environmentally sensitive streams. All stormwater ordinance requirements must be strictly adhered to. Engineering will require drainage easements to encompass 100 year flood area. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Install traffic calming measures with locations to be approved by Traffic Engineering.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting rezoning from B-1, Buffer-Business, B-2, Neighborhood Business and R-3, Multi-Family Residential to R-1, Single-Family Residential for a single-family residential subdivision. The applicant is also requesting Planned Unit Development approval for reduced building setbacks and increased site coverage, as well as Subdivision approval to create 136 single-family residential lots.

The site is illustrated as residential on the General Land Use Component of the Comprehensive Plan, which is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the General Land Use component allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification requested, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

The property to the West is undeveloped and zoned B-2; however, a stream separates the two zoning districts and would provide a natural buffer. To the North is R-3 and B-1 zoning which is compatible with single-family residential use, to the South across Girby Road is the Environmental Center for the Mobile County Public School system, and to the East is Knollwood Hospital.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The site will actually consist of two different styles of R-1 development. The western portion—The Lakes will comply with standard R-1 requirements in terms of setbacks and site coverage; the eastern portion—The Woodlands, will have reduced lot sizes, and setbacks, with increased site coverage. However, it should be noted that the overall site has adequate open space that more than provides 7,200 square feet per lot, and is thus in compliance with R-1 density requirements.

In terms of reduced setbacks, a 15-foot front yard setback is proposed and would be typical of many R-1 PUD approvals. However, as illustrated on the site plan, 2-foot and 8-foot side yard setbacks are proposed. This is unconventional; nevertheless, these

setbacks would ensure a minimum 10-feet between structures. It should be noted that Building Code may require a greater setback (3-feet) if windows are proposed. Therefore, in an effort to provide a modicum of flexibility, allowing a change in side setbacks, but maintaining a minimum separation of 10-feet between structures, could be allowed.

Regarding the request for a maximum site coverage of 45-percent, this request is typical of other R-1 PUD approvals.

The site fronts Girby Road, a planned major street, which has an existing right-of-way of 80-feet; therefore, the dedication of adequate right-of-way to provide 50-feet from the centerline should be required. Additionally, a note should be placed on the final plat stating that access is limited to the one entrance road for the development.

In terms of the subdivision request, many of the lots in the Woodlands are less than 50-feet wide and contain less than 7,200 square feet, thus a waiver of Section V.D.2., would be required. Additionally, there are many large common areas within the development, and the placement of a note on the final plat stating that the maintenance thereof is the responsibility of the property owners would also be required.

As the site is adjacent to a creek, the area may be considered environmentally sensitive, thus the approval of all applicable federal, state and local agencies would be required.

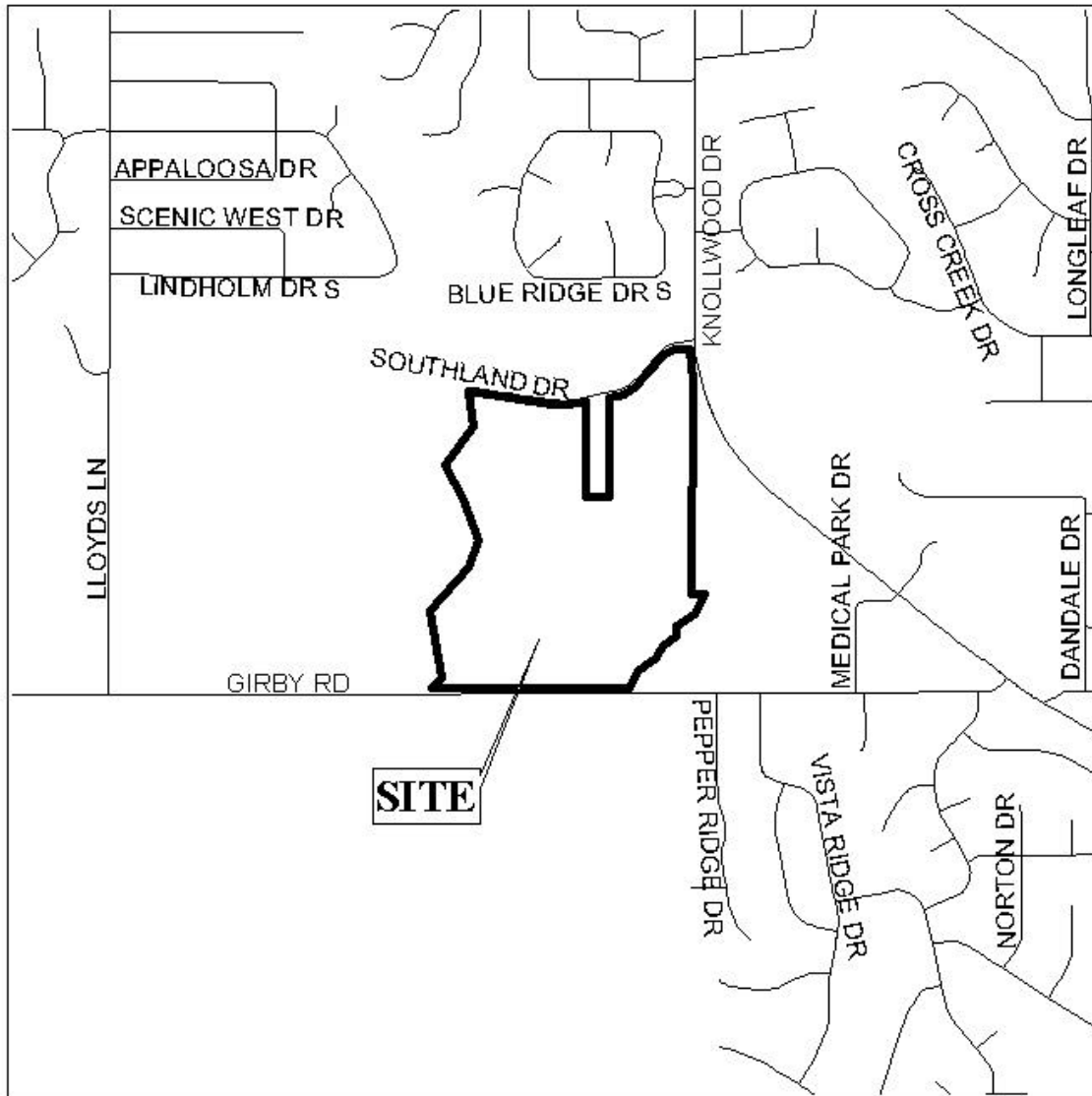
RECOMMENDATION

Rezoning Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the City Engineering Comments (strict adherence to all stormwater ordinance requirements, provision of drainage easements to encompass 100 year flood area, compliance with all stormwater and flood control ordinances, any work performed in the right of way will require a right of way permit); 2) that the site be limited to the accompanying PUD and Subdivision plats; 3) dedication of any necessary right-of-way to provide 50-feet from the centerline of Girby Road, a planned major street; 4) that the site be limited to the one entrance road as shown on the plat submitted; 5) the approval of all federal, state and local agencies; and 6) full compliance with all municipal codes and ordinances.

Planned Unit Development Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) full compliance with the City Engineering Comments (strict adherence to all stormwater ordinance requirements, provision of drainage easements to encompass 100 year flood area, compliance with all stormwater and flood control ordinances, any work performed in the right of way will require a right of way permit); 2) the approval of all federal, state and local agencies; 3) that a minimum of 10-feet of separation be provided between buildings; and 4) full compliance with all municipal codes and ordinances.

Subdivision: With modifications, the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) full compliance with the City Engineering Comments (strict adherence to all stormwater ordinance requirements, provision of drainage easements to encompass 100 year flood area, compliance with all stormwater and flood control ordinances, any work performed in the right of way will require a right of way permit); 2) dedication of any necessary right-of-way to provide 50-feet from the centerline of Girby Road, a planned major street; 3) that the site be limited to the one entrance road as shown on the plat submitted; 4) that a minimum of 10-feet of separation be provided between buildings); 5) the approval of all federal, state and local agencies; and 6) full compliance with all municipal codes and ordinances.

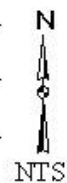
LOCATOR MAP



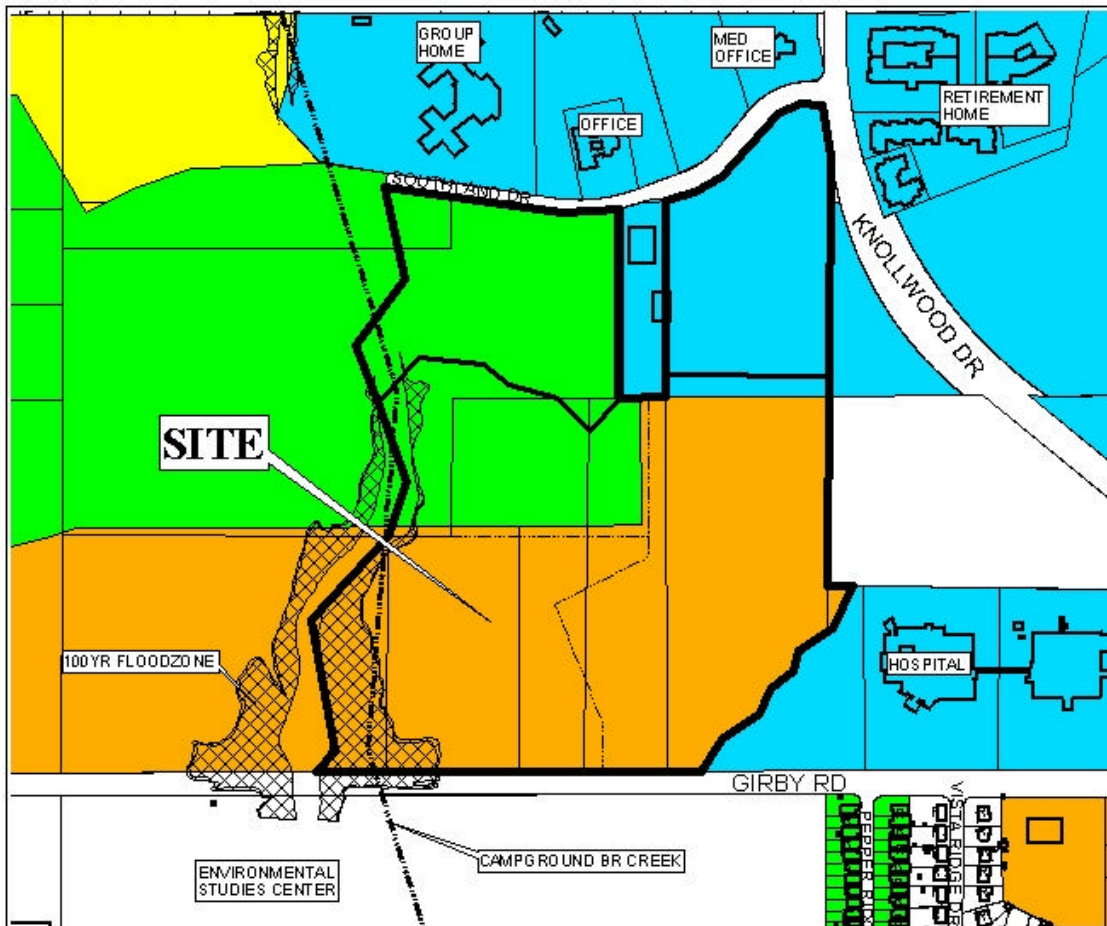
APPLICATION NUMBER 1, 2, & 3 DATE December 4, 2003

APPLICANT Loupe, Loupe & Ragusa L.L.C.

REQUEST Rezoning, Planned Unit Development, Subdivision



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Located to the North of the site is a medical office; to the East of the site is a hospital. Located to the South and West of the site is vacant property.

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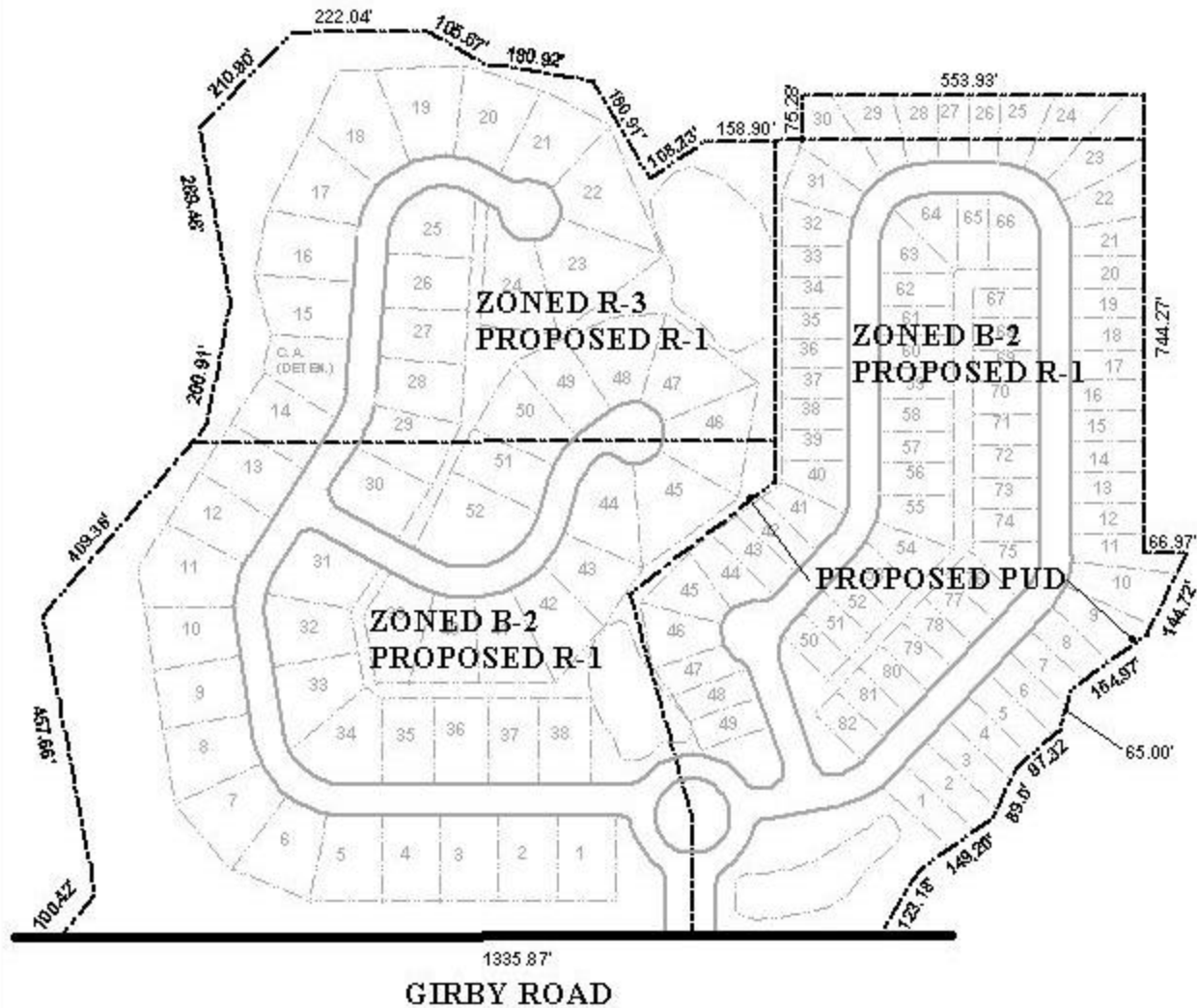
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REQUEST Rezoning, Planned Unit Development, Subdivision

LEGEND



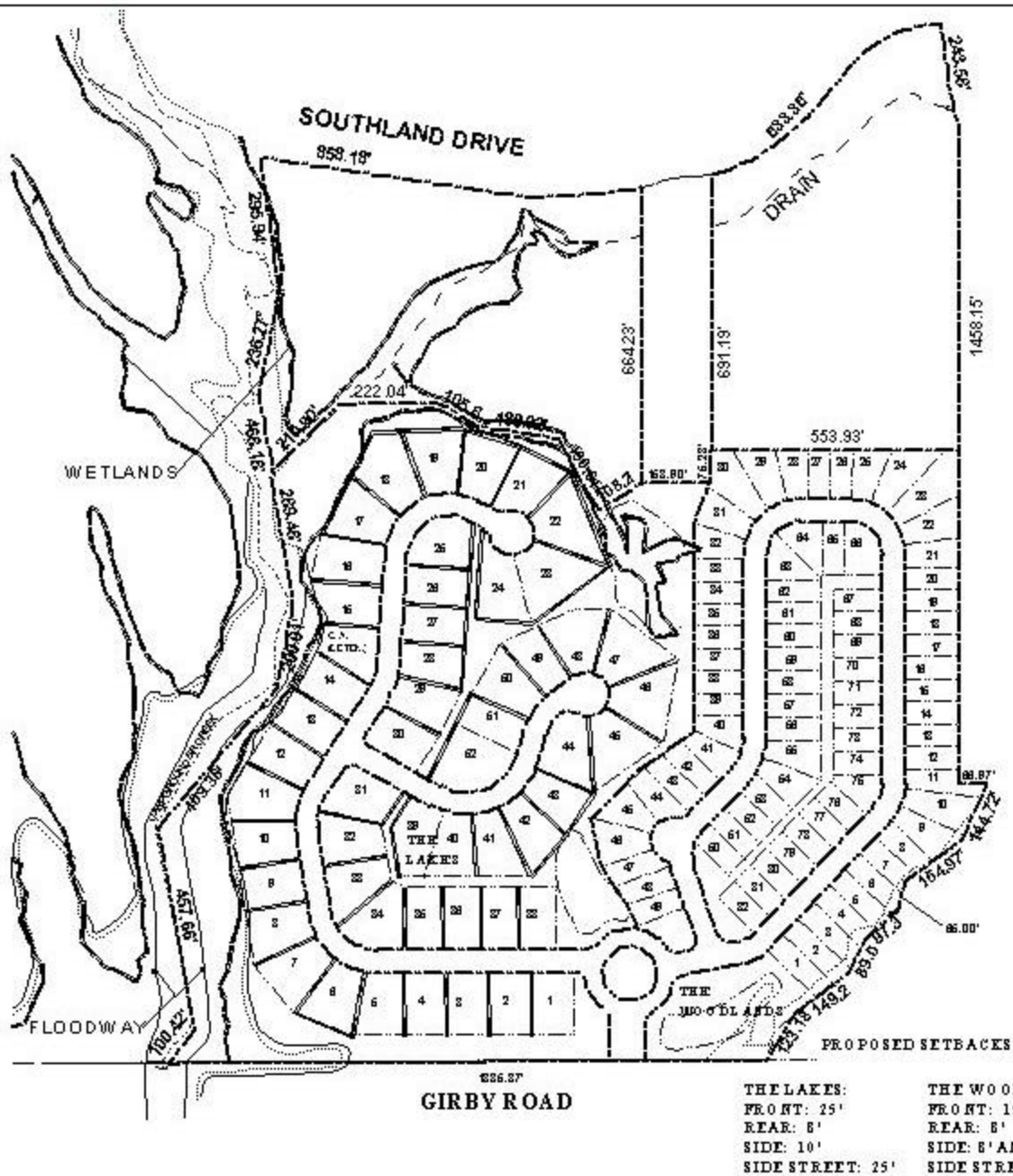
SITE PLAN



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 USE/REQUEST Rezoning, Pud, Subdivision

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 NTS

DETAIL SITE PLAN



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USE/REQUEST Rezoning, Pud, Subdivision

