

HOLDOVER
REVISED
OAKSTON SUBDIVISION

Engineering Comments: Stormwater Detention will be required. Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat illustrates the proposed 1.0 ± acre, 3 lot subdivision which is located on Northwest corner of Oakland Avenue and Marston Lane. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to subdivide one lot into three lots.

Marston Lane, which has an existing right-of-way of 40-feet, is a minor street, and as such requires a 50-foot right-of-way; therefore, the dedication of sufficient right-of-way to provide 25 feet from the centerline should be required. With Lot 3 being a corner lot, the dedication of a 25' radius should also be required.

As proposed, the width of Lot 3 would be 77-feet at the front property line to 57-feet at the rear property line. This reduction in lot width is a result of the dedication of right-of-way along Marston Lane. As illustrated on the Vicinity Map, a structure exists on Lot 2 which is not illustrated on the preliminary plat making it difficult to determine if the size of Lot 3 can be increased and if adequate setbacks on Lot 2 are provided. Section V.D.6. states that corner lots for residential use shall be increased in width over the minimum specified, so that front yard distance can be provided on both streets. Based upon the proposed plat configurations, Lot 3 would have considerably less “buildable area” (including all setbacks) than the other two proposed lots.

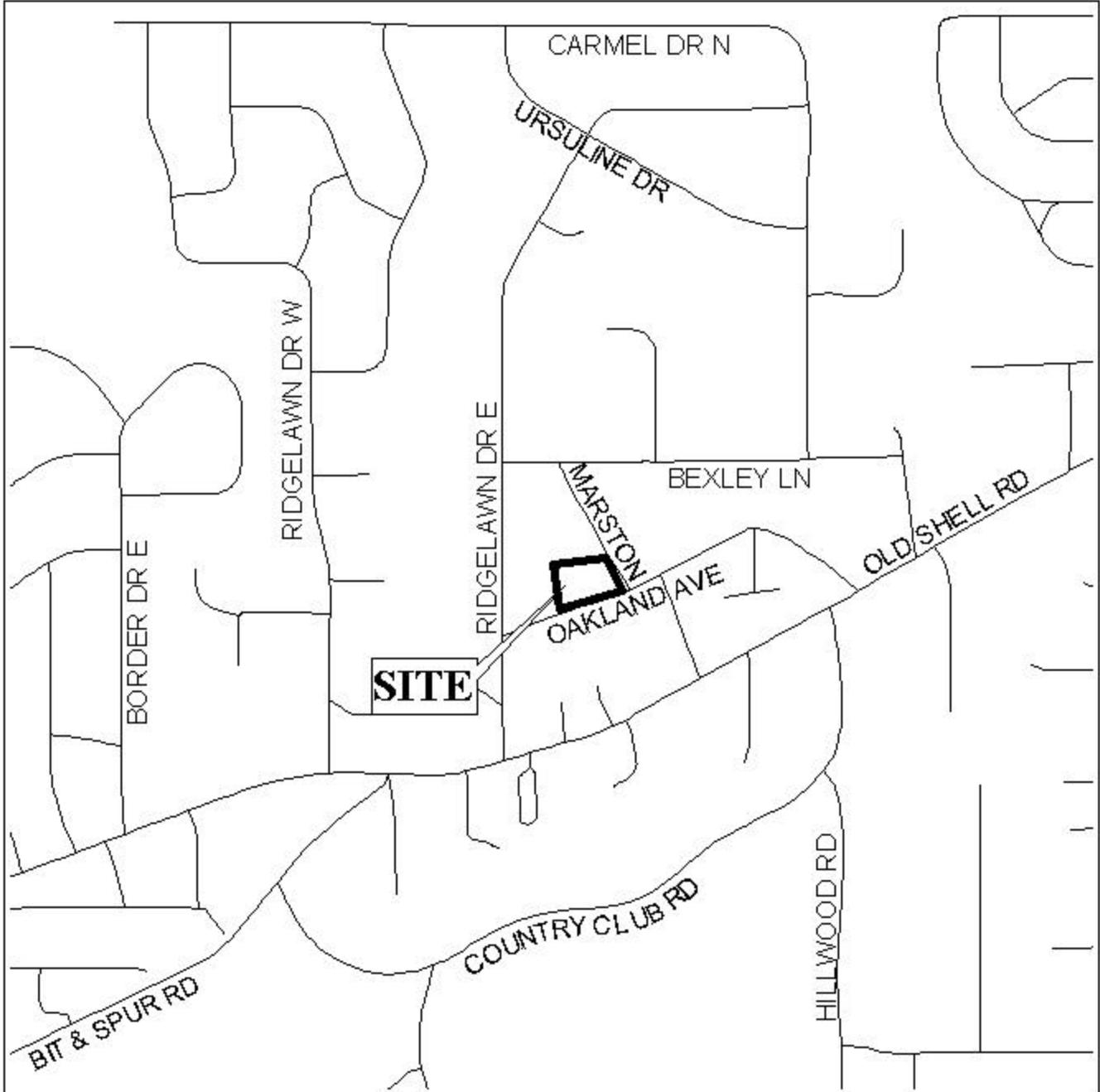
Based upon the preceding, it is recommended that this application be heldover to the April 3rd meeting to allow the applicant to illustrate the structure on Lot 2. This information must be submitted to the staff by March 24th.

The applicant has submitted a revised plat reflecting the existing house on Lot 2 meeting the 8-foot minimum side yard setback. Lot 3 would actually be 84-feet wide at the front property line, however, the lot would be only 51-feet wide at the rear property line. Based upon this revision, the buildable area for Lot 3 would be 50-feet at the front setback line and 22-feet at the rear setback line (20-foot setback along Marston Lane and a 25-foot setback along Oakland Avenue). With this revision, Lot 3 would still not meet the requirements Section V.D.2. (which states that new lots be a minimum of 60-foot wide at the building setback line) of the Subdivision Regulations. Moreover, this proposed subdivision would create a self-imposed hardship for constructing a residence in compliance with the setback requirements of the ordinance.

With the required dedication Lot 1, and Lots 2 and 3 combined, would meet the minimum requirements of the Subdivision Regulations.

*Based upon the preceding, this application is recommended for approval for a **two-lot** (Lot 1 and the combining of Lots 2 and 3 to create a second lot) subdivision with the following conditions: 1) the dedication of sufficient right-of-way to provide 25 feet from the centerline of Marston Lane; and 2) the dedication of a 25' radius at the intersection of Marston Lane and Oakland Avenue.*

LOCATOR MAP



APPLICATION NUMBER Holdover DATE April 3, 2003

APPLICANT Oakston Subdivision

REQUEST Subdivision



OAKSTON SUBDIVISION



APPLICATION NUMBER Holdover DATE April 3, 2003

LEGEND



HOLDOVER

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