

OAK HILL SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

MAWSS Comments: MAWSS has **no** water or sewer services available.

The plat illustrates the proposed 19.3± acre, 48-lot subdivision, which is located on the North side of Oak Hill Drive, ½ mile± North of Moffett Road. The applicant indicates that the site is served by public water and sanitary sewer; however, based on MAWSS comments above, the applicant must provide proof that the site will have such services from another provider, prior to signing the final plat.

The purpose of the application is to create a 48-lot subdivision from three lots of record.

The site fronts Oak Hill Drive, with a 60-foot right-of-way; and adjoins (along the Western boundary) the future right-of-way of Magee Road, a planned major street requiring a 100-foot right-of-way. As such, dedication should be required to provide 50 feet from the centerline of the planned major street. It appears that the centerline of Magee Road may fall on (or very near) the Western boundary, in which case the proposed lots could be reduced by nearly half, and may not meet the minimum lot size requirements. The applicant should ensure that the design will provide for adequate area for all lots after dedication. In addition, as a means of access management, all lots should be denied direct access both to Oak Hill Drive and Magee Road.

The proposed subdivision also involves the creation of new streets, which must be constructed and dedicated to County Engineering standards prior to signing the final plat. One street is over 1200 feet long and very straight, and would therefore require calming devices; the only kind of calming device that the County will accept is a traffic circle. Based on its length, it is recommended that this street feature two traffic circles. Intersections might be suitable locations; however, size, location, and design will be subject to County Engineering approval.

Traffic circles should be shown on the final plat as common area. While detention is not shown on the final plat, if it is required, the space should be shown as “common detention area” on the final plat. A note should be required on the final plat stating that maintenance of all common areas is the property owners’ responsibility.

The 25-foot building setbacks are noted but not drawn; these should be drawn on the final plat.

The site is located in the County; thus any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

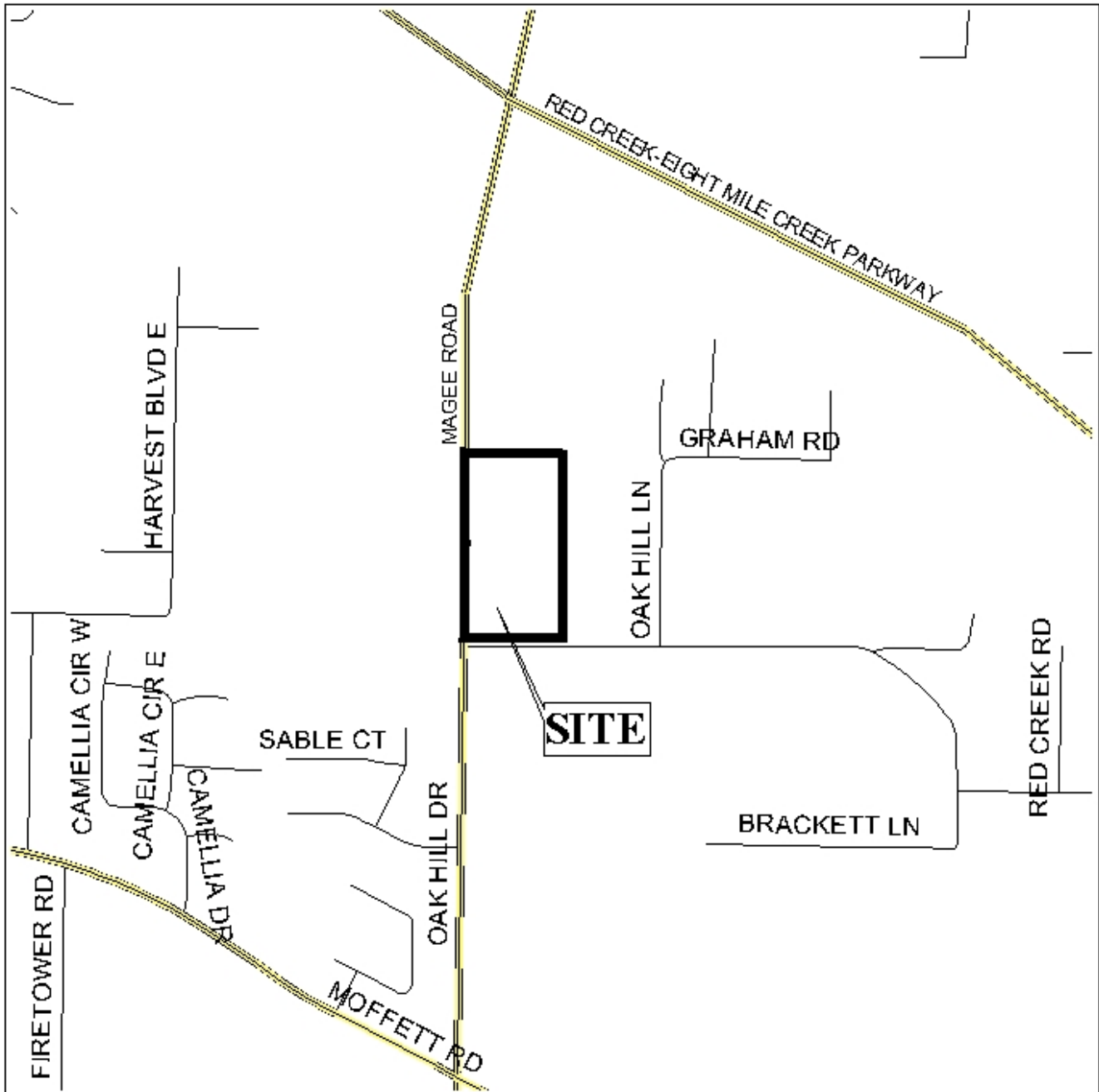
Based on the preceding, it is recommended this application be held over to the July 20th meeting, to allow the applicant to revise drawings to show the planned major street dedication; adequate area for all lots; and traffic calming devices. Revised materials should be received in Urban Development by June 26th.

Revised for the July 20th meeting:

This application was held over from the June 15th meeting to allow the applicant to revise drawings to show the planned major street dedication; adequate area for all lots; and traffic calming devices. The applicant has submitted a revised site plan illustrating all of the above. In addition, the site plan illustrates a street stub to the proposed major street, as would have been recommended; dedication of 25-foot curb radii at this intersection should also be required on the final plat.

Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions: 1) provision of proof that the site will have public water and sanitary sewer services, prior to signing the final plat; 2) depiction on the final plat of the major street right-of-way dedication for Magee Road, as shown on the plat submitted; 3) dedication of 25-foot curb radii at the intersection of the new street stub with Magee Road; 4) the placement of a note on the final plat stating that all lots are denied direct access both to Oak Hill Drive and Magee Road; 5) the labeling of all traffic circles as common area and the placement of a note on the final plat stating that maintenance of all common areas is the property owners' responsibility; 6) the construction and dedication of the new streets to County Engineering standards; 7) the placement of the 25-foot building setback lines on the final plat; and 8) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

LOCATOR MAP



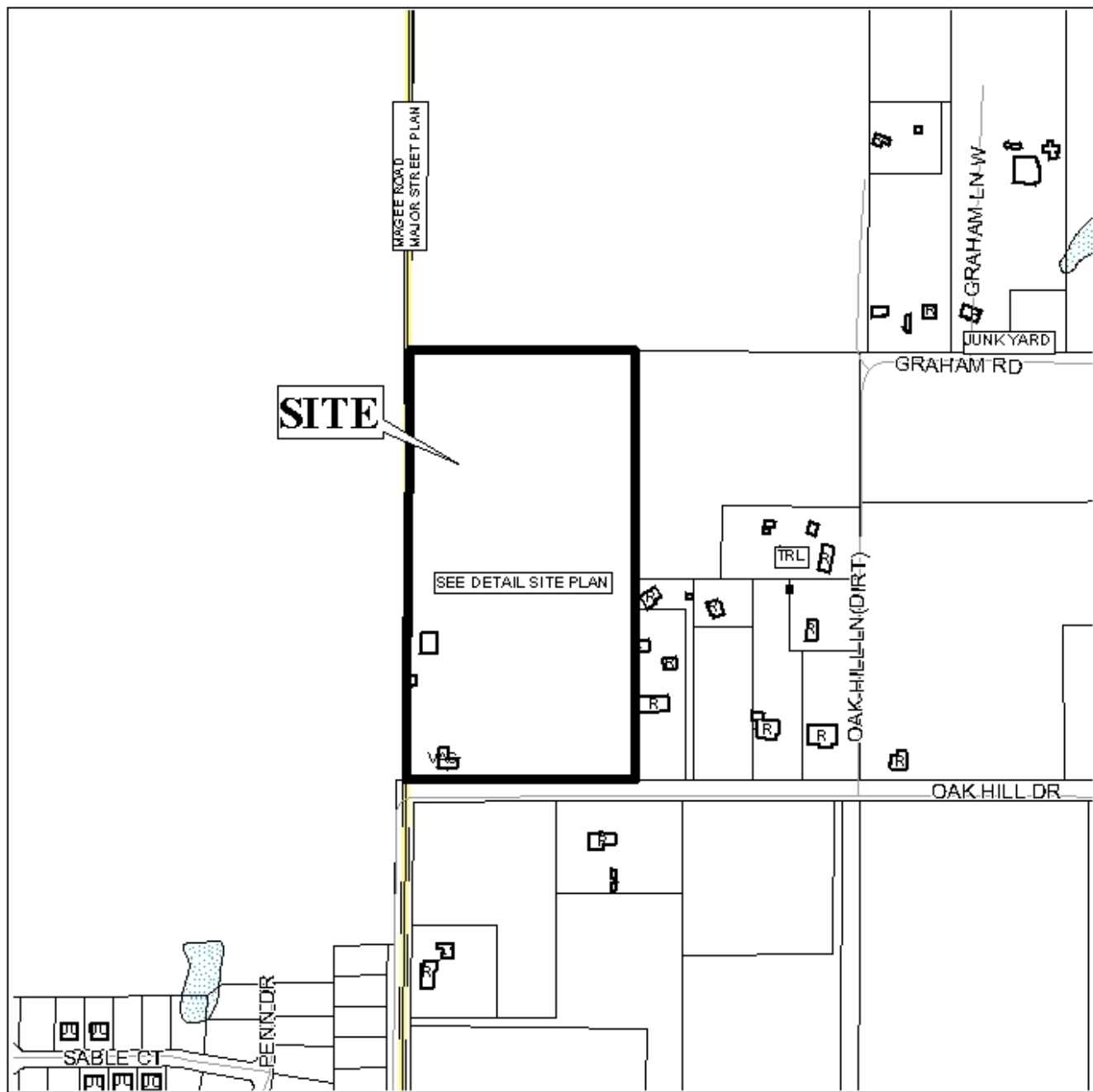
APPLICATION NUMBER Holdover DATE July 20, 2006

APPLICANT Oak Hill Subdivision

REQUEST Subdivision















OAK HILL SUBDIVISION



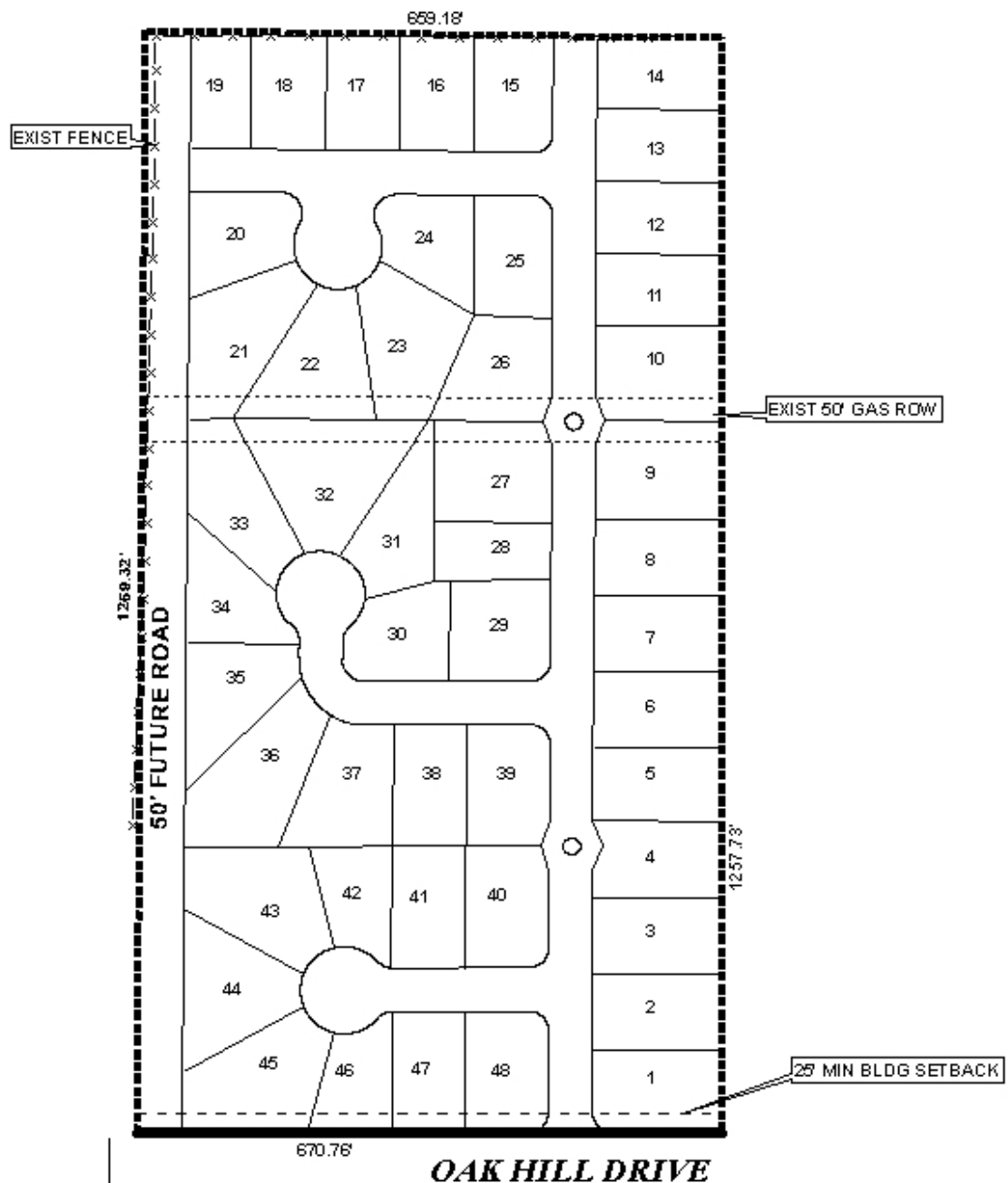
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LEGEND

													
R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



DETAIL SITE PLAN



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