

HOLDOVER

Revised

HUNTER'S PARK SUBDIVISION, UNIT V

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 25-lot subdivision of a metes and bounds parcel, which is located on the East side of Dykes Road South, 3/10 mile± North of Airport Boulevard, 200'± East of Dykes Road South. The site is served by public water and sanitary sewer. The site fronts Dykes Road South, which has a 60-foot right-of-way.

The lots meet the minimum requirements of the Subdivision Regulations, but the site, adjoining several existing and proposed residential developments, presents some issues and opportunities regarding street connectivity.

Directly West of the site are Unit 1 of Hunter's Park (two lots, already recorded); Unit III of Hunter's Park, an approved 14-lot subdivision; and Unit IV of Hunter's Park, a proposed three-lot subdivision. Directly North of the site is an existing subdivision (Summerlake) with over 80 lots. All of this together consists of over 200 existing and proposed lots, with a total of three outlets to Dykes Road South; most roads do or will terminate in cul-de-sacs.

Unit IV would prevent the proposed East-West street in Unit V from connecting to Dykes Road South, which is an undesirable outcome for the overall site. Minor street connections benefit neighborhoods by allowing dispersion of traffic, more access points for emergency vehicles, and more efficient distribution of roads and utilities; Units IV and V present unusually good opportunities to increase the connectivity of existing and proposed neighborhoods.

The plat illustrates a stub North connecting to Summerlake and one West to Unit III. By extending the proposed East-West cul-de-sac to Dykes Road South through the Unit IV property, traffic would be alleviated for adjoining streets in Hunter's Park and Summerlake, and the neighborhood would become more accessible by emergency vehicles.

Based on the preceding, it is recommended that this application be held over to the February 2nd meeting, to allow the applicant to coordinate the design of Unit V with that of Unit IV, to increase the connectivity of the streets. Revised materials should be received by January 23rd.

Revised for the February 2nd meeting:

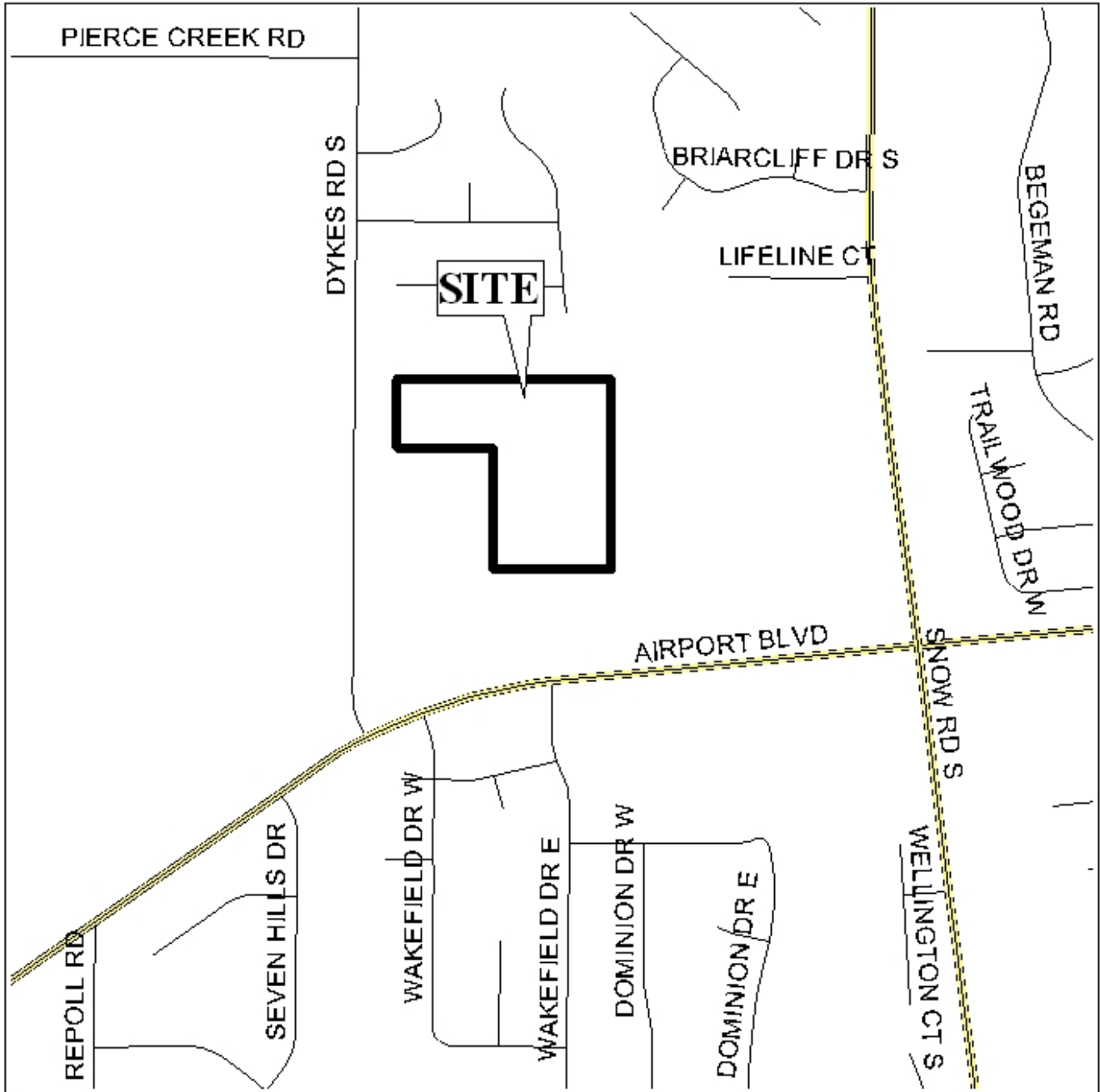
This application was held over from the January 19th meeting, to allow the applicant to submit revised materials coordinating Units IV and V, to increase the connectivity of the streets. The applicant's engineer has not submitted any additional materials, but has noted that a portion of the previous report was in error; the site does not in fact adjoin Summerlake subdivision. Nevertheless, the provision of a street connection through Unit IV, rather than terminating the new road in a cul-de-sac, is strongly recommended by Urban Development. As this would impact proposed lots 33, 34, and 35, they should be configured to ensure that they maintain the minimum lot size required for a site served by public water and sanitary sewer (7200 square

feet). Furthermore, as the road would exceed 600 feet in length, traffic calming would be required.

It should also be noted that Units III and IV of Hunter's Park (SUB2005-00223) received Tentative Approval in 2005, and the present application reconfigures and adds to the original layout for Unit IV, and encompasses approximately 20 feet of the northern side of Unit III. Associated files and parcels will be tagged to identify this slight deviation, since it is part of the overall development. However, if the original Unit IV is recorded, the present approval (if granted) will become void.

The site otherwise meets the minimum requirements of the Subdivision Regulations. Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions: 1) revision of the plat to show a street connection between Dykes Road South and the new street in Hunter's Park Unit V; 2) reconfiguration of the lots to ensure that minimum lot size (7200 square feet where served by public water and sanitary sewer) is maintained; 3) construction and dedication of the new streets to County Engineering standards; 4) the provision of a traffic-calming device in the center of the new East-West street, subject to County Engineering approval; 5) the placement of a note on the final plat stating that maintenance of the common and detention areas shall be the responsibility of the property owners; and 6) the placement of a note on the final plat stating that any lots that are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations.

LOCATOR MAP



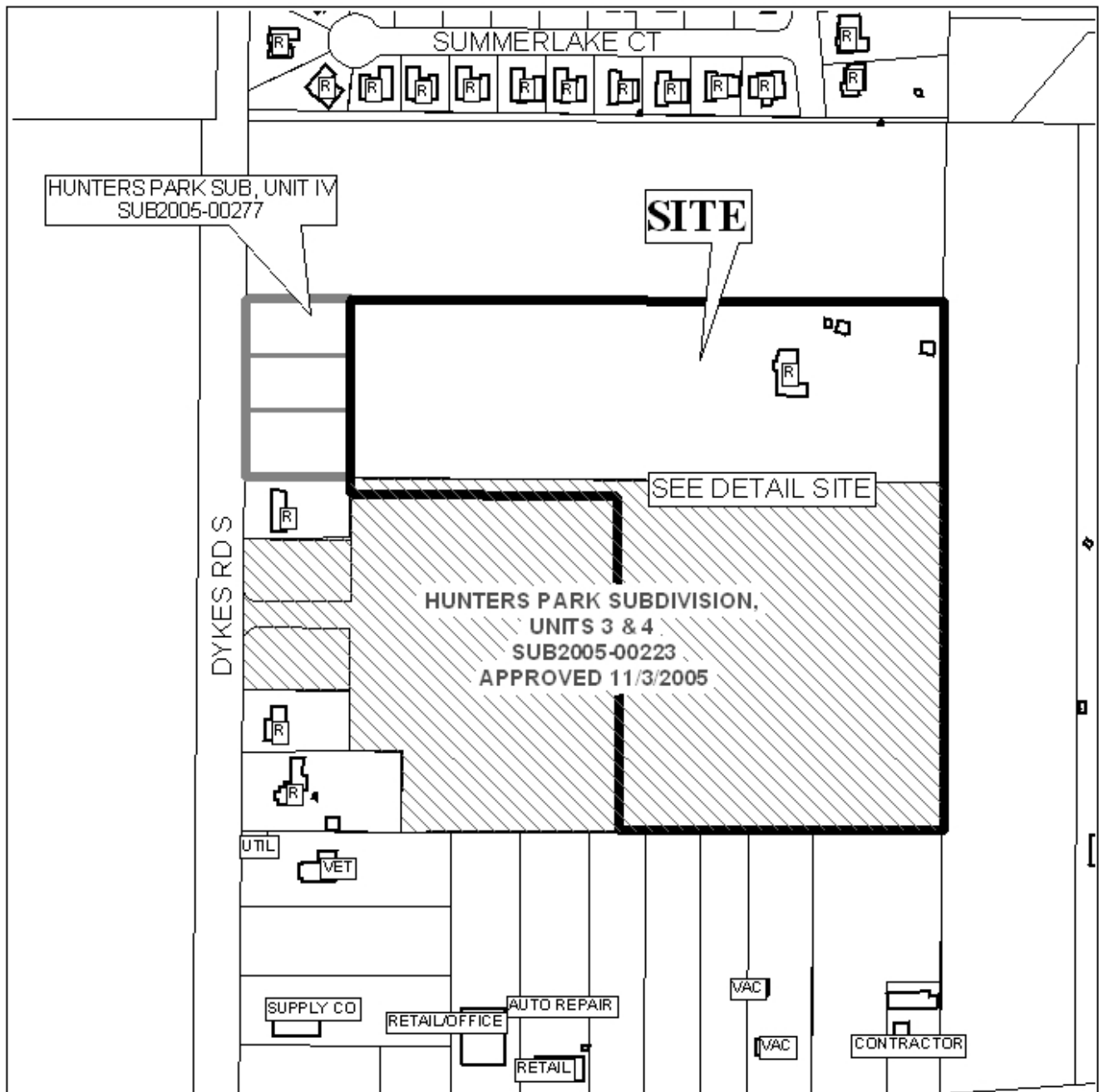
APPLICATION NUMBER Holdover DATE February 2, 2006

APPLICANT Hunters Park Unit V

REQUEST Subdivision



HUNTERS PARK SUBDIVISION, UNIT V



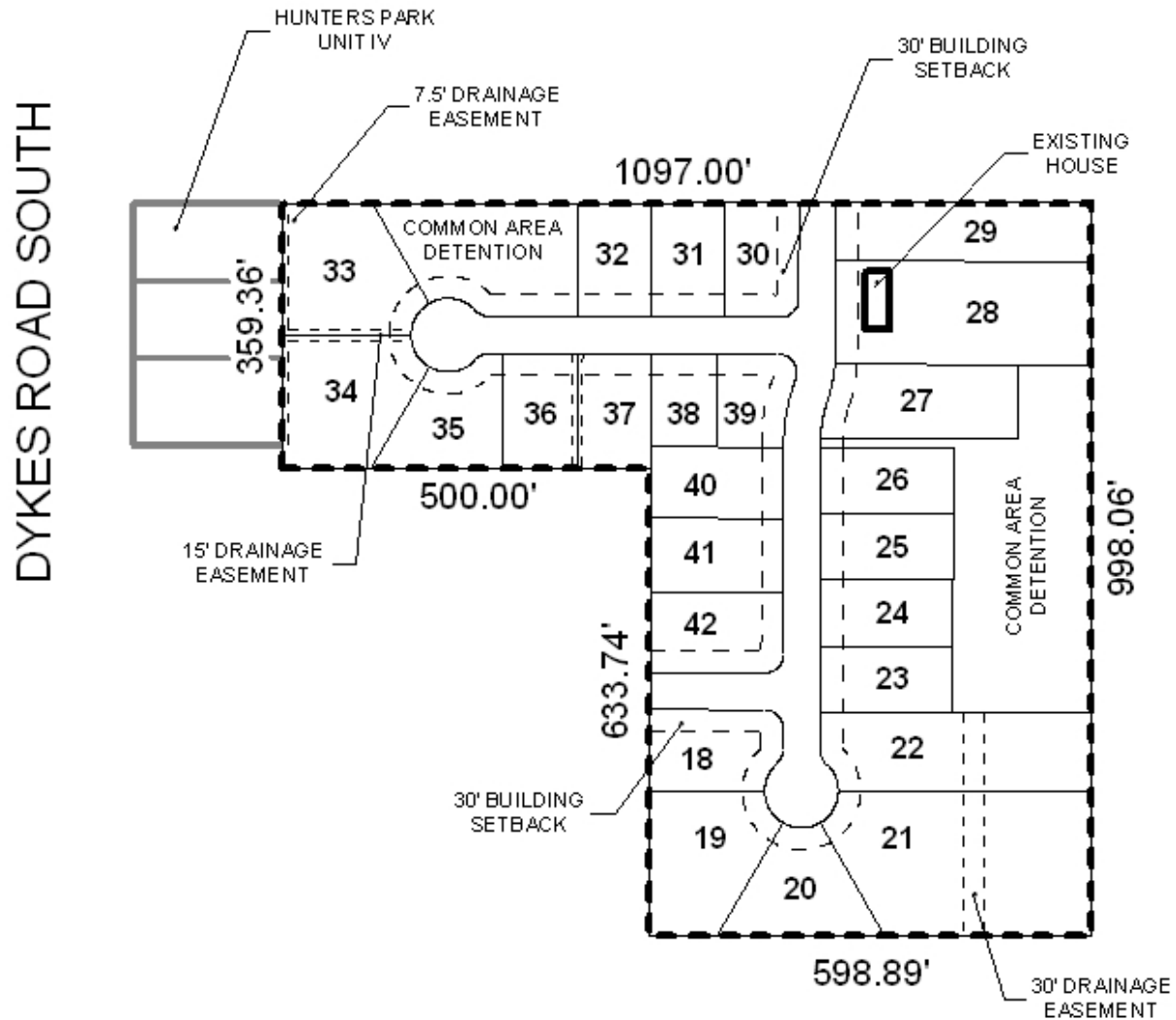
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

N
NTS

DETAIL SITE PLAN



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