

HOLDOVER
REVISED
HUNTER ADDITION TO
CEDAR POINT ROAD SUBDIVISION

Engineering Comments: Development of property must comply with all stormwater management and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The plat illustrates the proposed 2 lot, 1.2 \pm acre subdivision which is located on the East side of Cedar Point Road, 300' \pm South of Rosedale Road. The site is served by city water and sanitary facilities.

The purpose of this application is to subdivide an existing metes and bounds parcel into two lots of record.

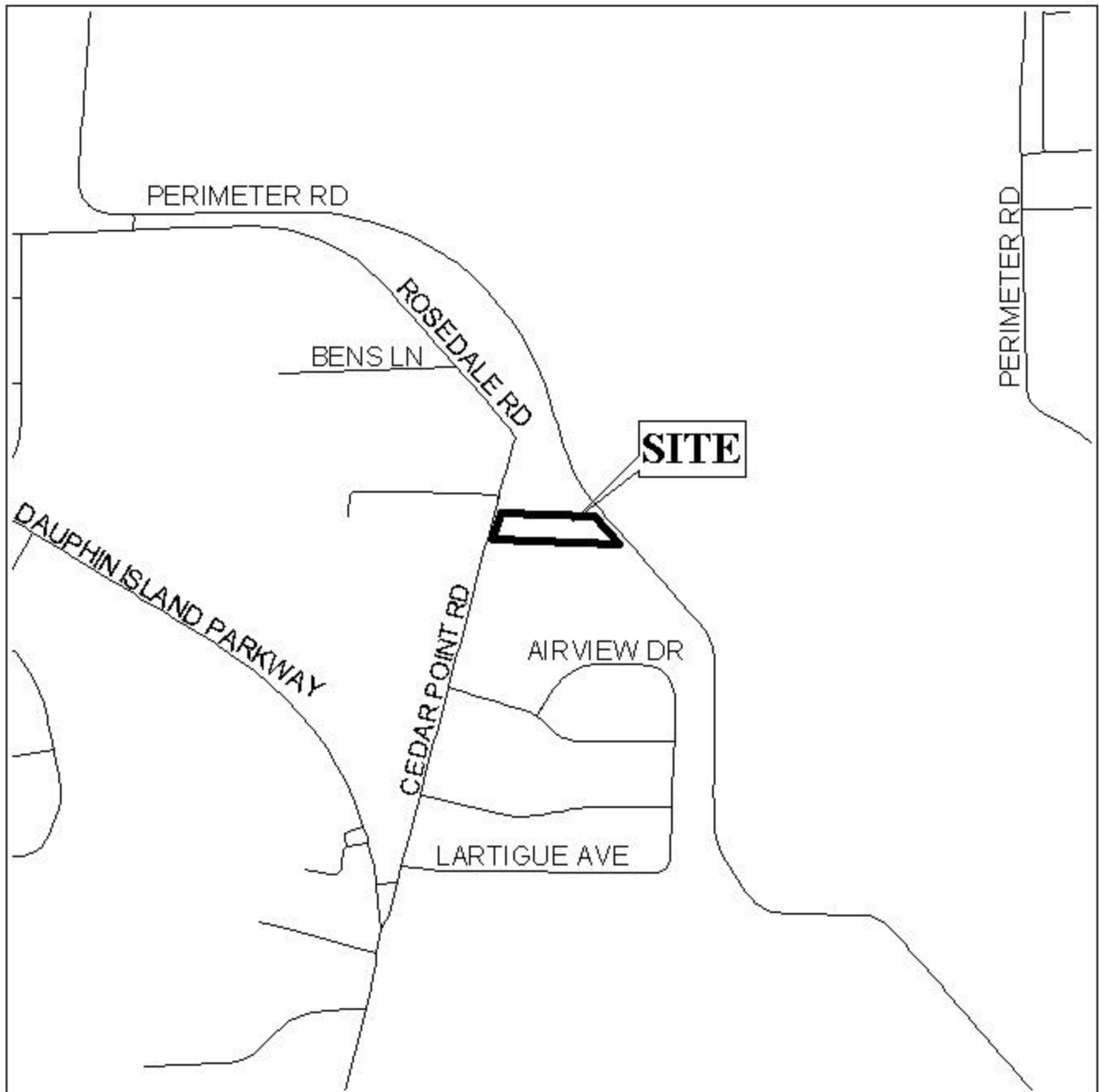
As illustrated on the Vicinity Map, the shaded area was deeded off via a metes and bounds description in 1997 and should be included in the subdivision.

Lots 1 and 2 exceed the maximum width to depth ratio as recommended by the Subdivision Regulations; therefore, a waiver of Section V.D.3. would be required.

The applicant submitted documentation illustrating that the adjacent property owner will not participate in the subdivision.

With modifications and a waiver of Section V.D.3., the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval.

LOCATOR MAP



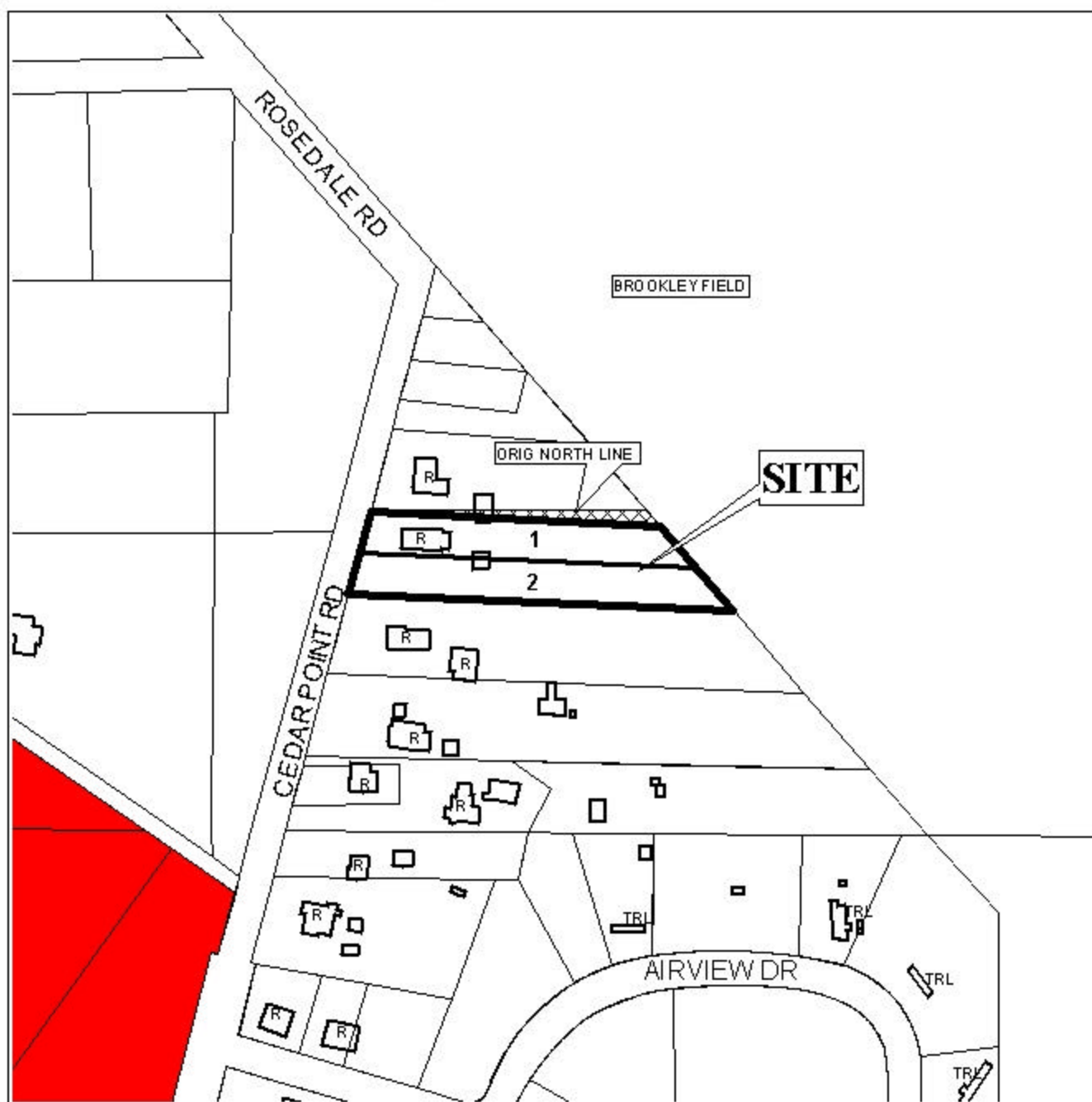
APPLICATION NUMBER 20 DATE March 20, 2003

APPLICANT Hunter Addition to Cedar Point Road Subdivision

REQUEST Subdivision



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APPLICATION NUMBER 20 DATE March 20, 2003

LEGEND

