

AZALEA CENTER SUBDIVISION

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

Traffic Engineering Comments: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The plat illustrates the proposed 3 lot, 10.1 \pm acres subdivision which is located on the West side of Azalea Road, 530' \pm South of Airport Boulevard. The subdivision is served by public water and sanitary sewer.

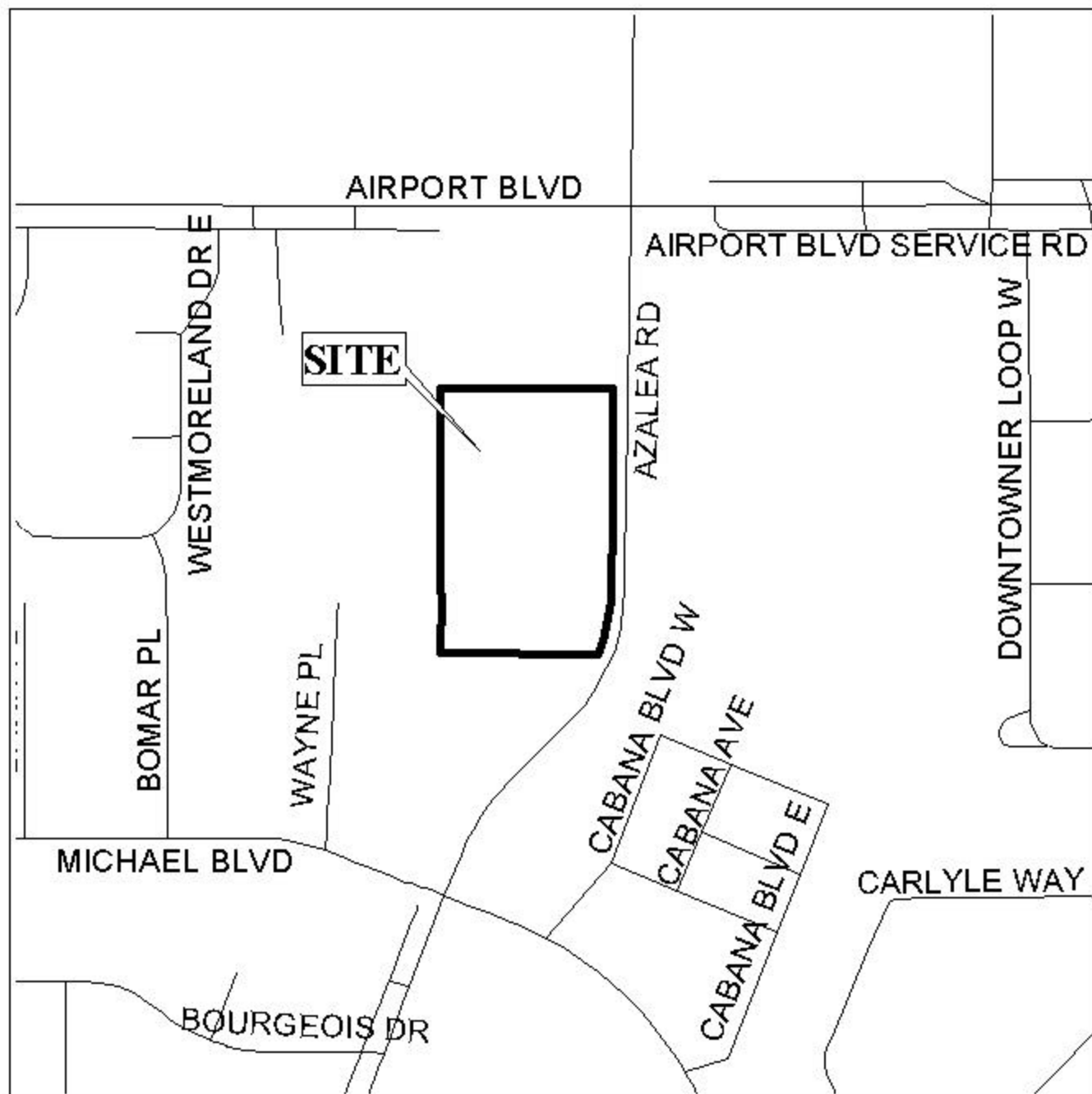
The purpose of this application is to subdivide a large metes and bounds parcel into 3 lots of records. The site will have shared access and parking, thus the submission of an Administrative PUD application should be required prior to the issuance of any permits.

Azalea Road, which has an existing right-of-way of 80-feet, is shown as a major street on the Major Street Plan, and as such requires a 100-foot right-of-way; therefore, the dedication of sufficient right-of-way to provide 50-feet from the centerline should be required. As the site is located on a major street, access management is a concern; however, the site is developed, and restricting the site to the existing curb cuts would provide adequate access management.

As illustrated on the Vicinity Map, the site adjoins residential property to the west; therefore, the provision of a buffer in compliance with Section V.A.7. of the Subdivision Regulations, should be required.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) the dedication of sufficient right-of-way to provide 50' from the centerline of Azalea Road; 2) the submission and approval of an Administrative PUD application prior to the issuance of any permits; and 3) the provision of a buffer in compliance with Section V.A.7. of the Subdivision Regulations where the site adjoins residential property.

LOCATOR MAP



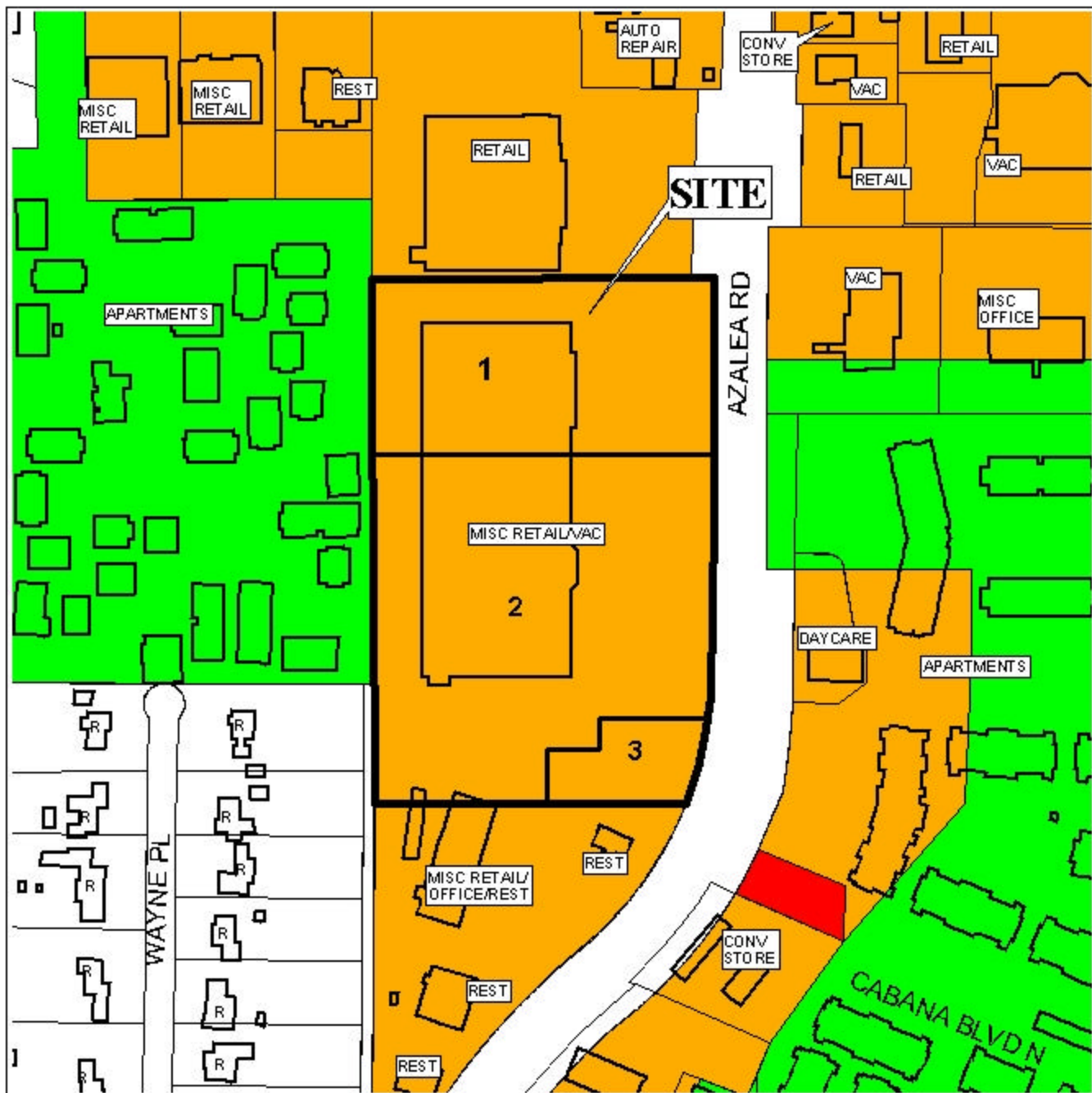
APPLICATION NUMBER 16 DATE February 5, 2004

APPLICANT Azalea Center Subdivision

REQUEST Subdivision



AZALEA CENTER SUBDIVISION



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LEGEND

