

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT**

Date: June 3, 2004

DEVELOPMENT NAME Magnolia Place East Subdivision

SUBDIVISION NAME Magnolia Place East Subdivision

LOCATION West side of East Drive, 3/10 mile± South of Old Shell Road, extending to the East side of Center Drive.

PRESENT ZONING R-3, Multi-Family Residential

AREA OF PROPERTY 4.4± Acres

CONTEMPLATED USE Single-family residential subdivision with 5-foot side yard setbacks and increased (45%) site coverage.

TIME SCHEDULE FOR DEVELOPMENT Immediate

ENGINEERING COMMENTS Applicant should provide certified survey determining adequate stormwater system (including detention) was designed and constructed to accommodate increased coverage. Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING COMMENTS Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY COMMENTS Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS The applicant is requesting Planned Unit Development approval to allow reduced side yard setbacks (5-feet) and increased site coverage (45%), and Subdivision approval to reflect reduced setbacks on the record plat.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts

outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The applicant received PUD and Subdivision approvals in 2002, and extensions in 2003. That PUD allowed structures to be built on the side property line on one side (zero setback) and required a 10-foot setback on the opposite side. The applicant now proposes a minimum setback of five feet on each side, still providing a minimum separation of 10 feet between structures.

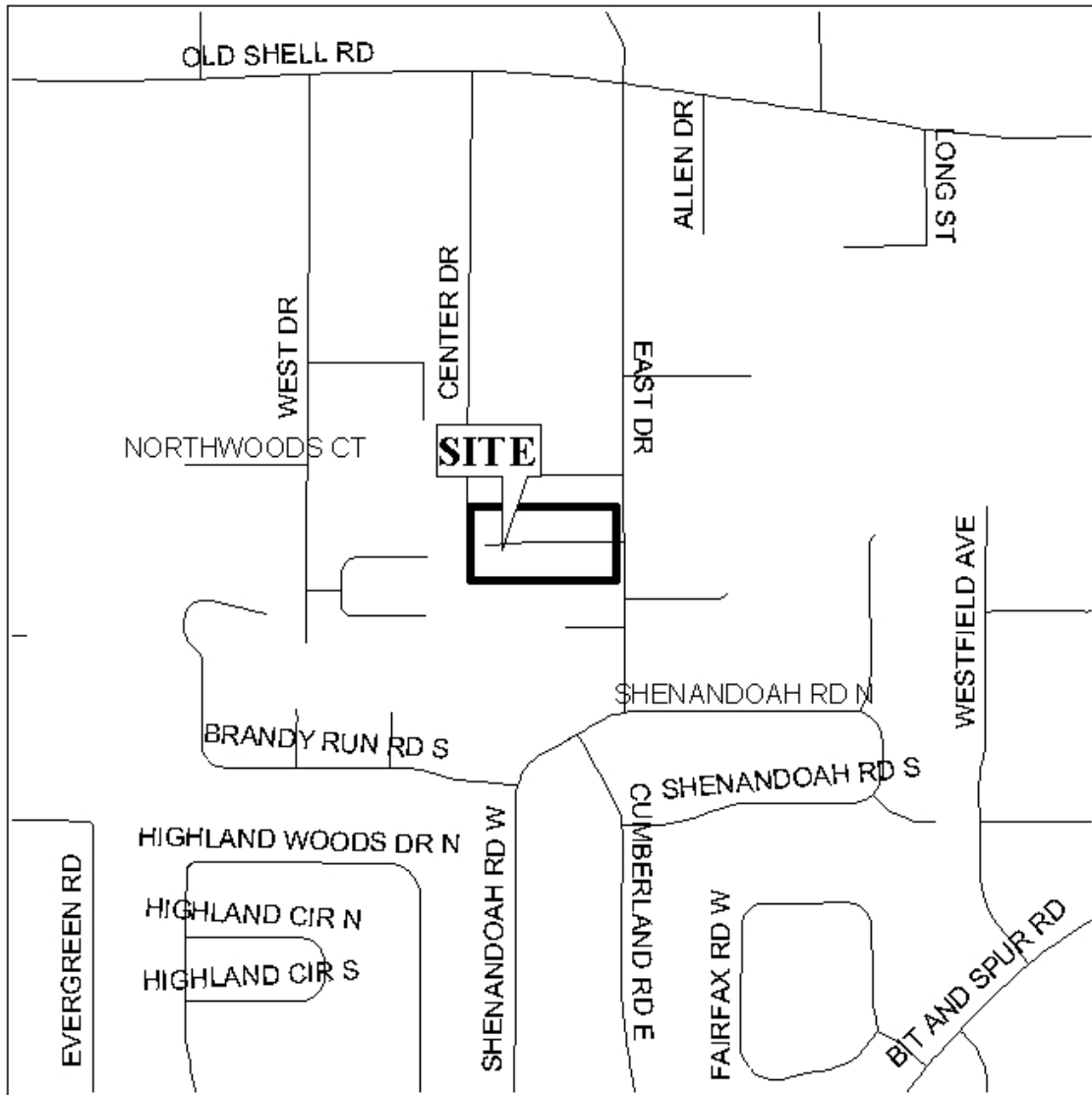
As previously approved, the lots along the cul de sac will have a reduced front yard setback of 15 feet (all other lots have 25-foot front yard setbacks); and a maximum site coverage of 45 percent is proposed for all lots.

The 2002 setbacks as outlined above, were also reflected on the recorded plat, hence any change to the setbacks requires a new subdivision approval. The street is built and has been accepted by the City, and adequate right-of-way has been dedicated along Center Drive; however, access to Center Drive should still be denied until it is constructed to city standards.

RECOMMENDATION **Planned Unit Development** based upon the preceding, this application is recommended for approval subject to the following conditions: 1) denial of access to Center Drive until it is constructed to city standards; 2) submission of a certified survey determining adequate stormwater system (including detention) was designed and constructed to accommodate increased coverage; and 3) full compliance with all municipal codes and ordinances.

Subdivision the plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) denial of access to Center Drive until it is constructed to city standards; 2) submission of a certified survey determining adequate stormwater system (including detention) was designed and constructed to accommodate increased coverage; and 3) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 5 & 6 DATE June 3, 2004

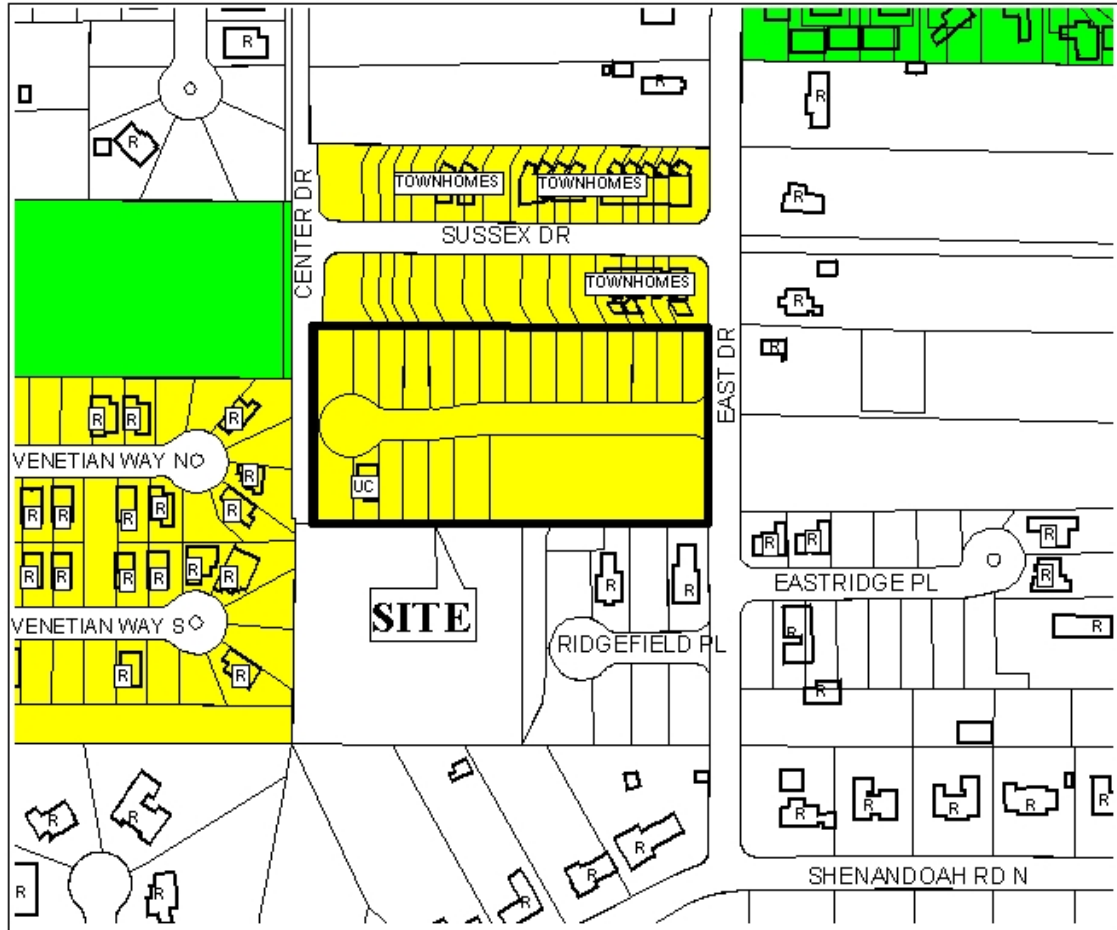
APPLICANT Magnolia Place East Subdivision

REQUEST Planned Unit Development and Subdivision



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residential dwellings.

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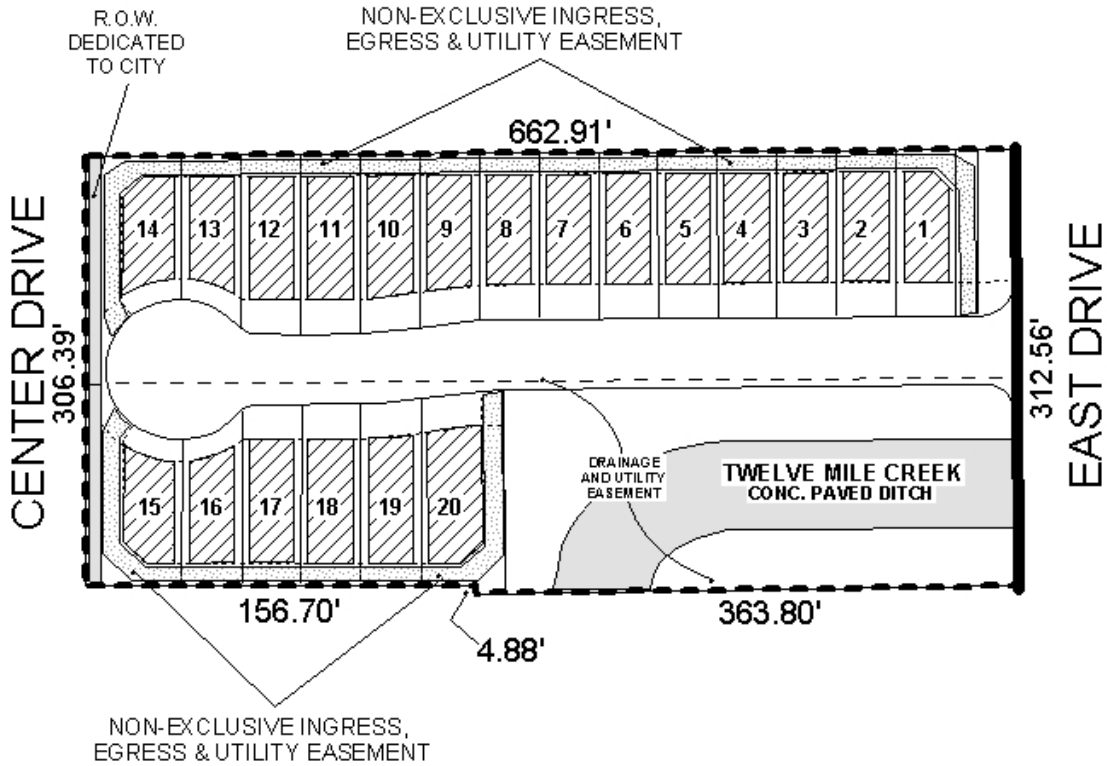
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LEGEND



SITE PLAN



The site is located on the West side of East Drive, 3/10 mile South of Old Shell Road, extending to the East side of Center Drive. The plan illustrates the proposed structures, easements and drives.

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