

COLEMAN ACRES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 3-lot, 4.4± acre subdivision which is located on the South side of Old Pascagoula Road, 590'± West of McDonald Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by city water and individual septic systems. The purpose of this application is to create three legal lots of record from three metes-and-bounds parcels.

There are existing buildings located on all three of the subject properties. The single-family residence as well as two accessory buildings to the north of the subject properties will remain. The subject properties are all a part of the Resubdivision of Stagecoach West.

The proposed lots front Old Pascagoula Road, a paved major street on the Major Street Plan. As a major street, this street requires a 100' wide right-of-way width according to the Comprehensive Plan. The existing right-of-way width is depicted as 80' on the preliminary plat; therefore dedication should be required to provide 50' from the centerline, if approved.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots exceed the 15,000 square foot minimum lot size requirement for lots served by public water and private sanitary sewer systems. The lot size information is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that each lot is limited to one curb cut to Old Pascagoula Road, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards.

The preliminary plat illustrates the required 25' minimum setback for all lots, but should be relocated for the proposed Lot 2 to where the lot is at least 60' wide. If approved, the setback should be retained on the Final Plat, adjusted for dedication.

It should be noted that the proposed Lot 2 is a flag lot. However, there are several flag lots in the area that have been previously approved by the Planning Commission, therefore a waiver of Section V.D.I. of the Subdivision Regulations may be appropriate.

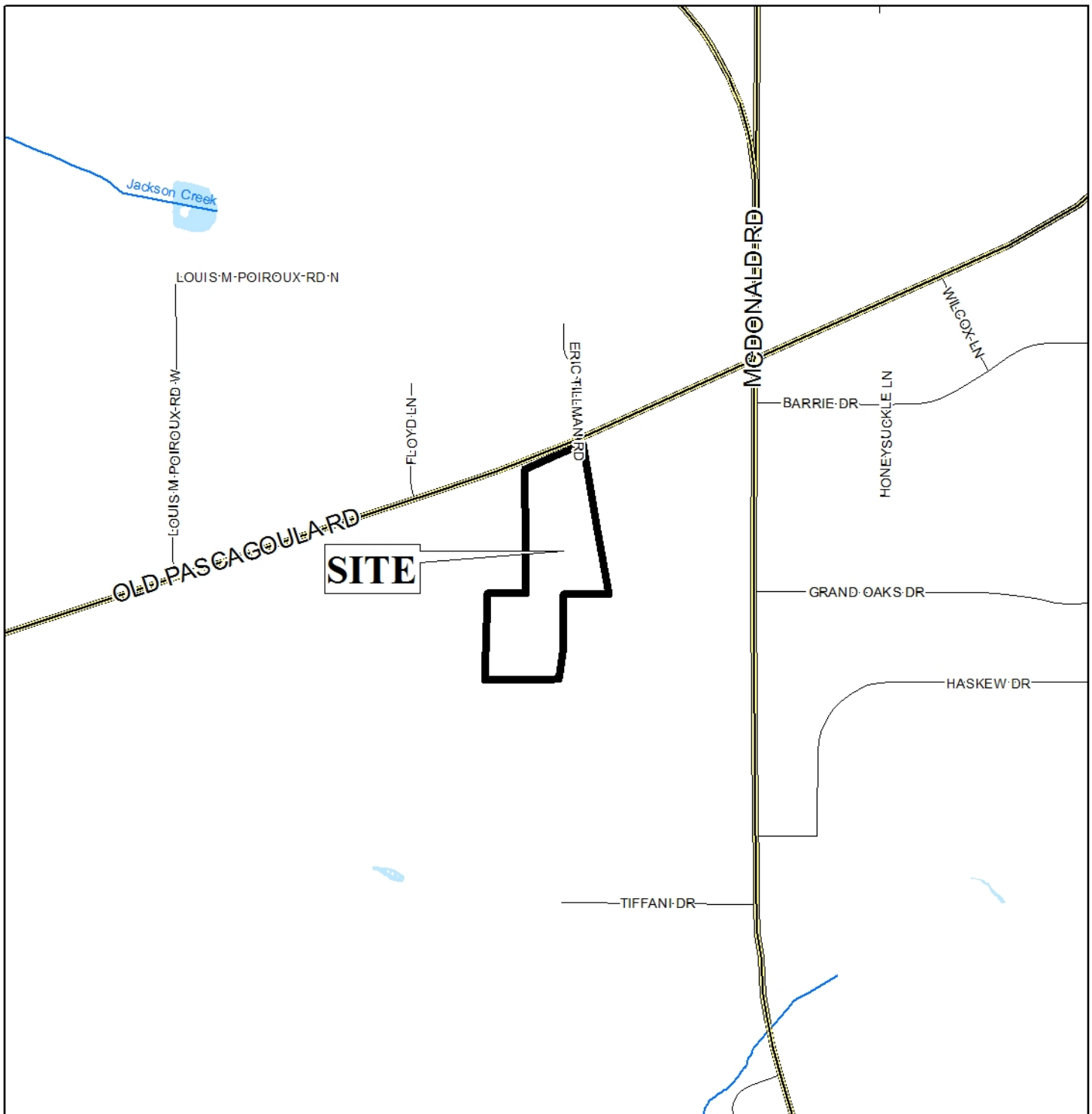
Furthermore, it appears the proposed Lots 1 and 2 do not meet the width-to-depth ratio. Section V.D.3. of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback. As proposed, Lot 2 is 145' wide at the setback line and 775.6' deep, resulting in a lot that is 268.1' deeper than would normally be allowed. Lot 1, as proposed, is 88.6' wide at the setback line and 515.2' deep, resulting in a lot that is 204.3' deeper than would normally be allowed. While there do appear to be parcels in the area that also exceed the width-to-depth ratio, none of them have been approved by the Planning Commission.

The site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. If approved, a note should be placed on the Final Plat stating this requirement..

Based upon the preceding, this application is recommended for Tentative Approval, with waivers of Sections V.D.I and V.D.3. of the Subdivision Regulations, subject to the following conditions:

- 1) Retention of the lot size information in both square and in acres on the Final Plat;
- 2) Dedication to provide 50' from the centerline of Old Pascagoula Road;
- 3) Illustration of 25' minimum building setback where each lot is at least 60' wide, adjusted for dedication;
- 4) Placement of a note on the Final Plat stating that each lot is limited to one curb cut to Old Pascagoula Road, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating this site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);* and
- 7) Compliance with Fire Comment: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

LOCATOR MAP



APPLICATION NUMBER 6 DATE September 15, 2016

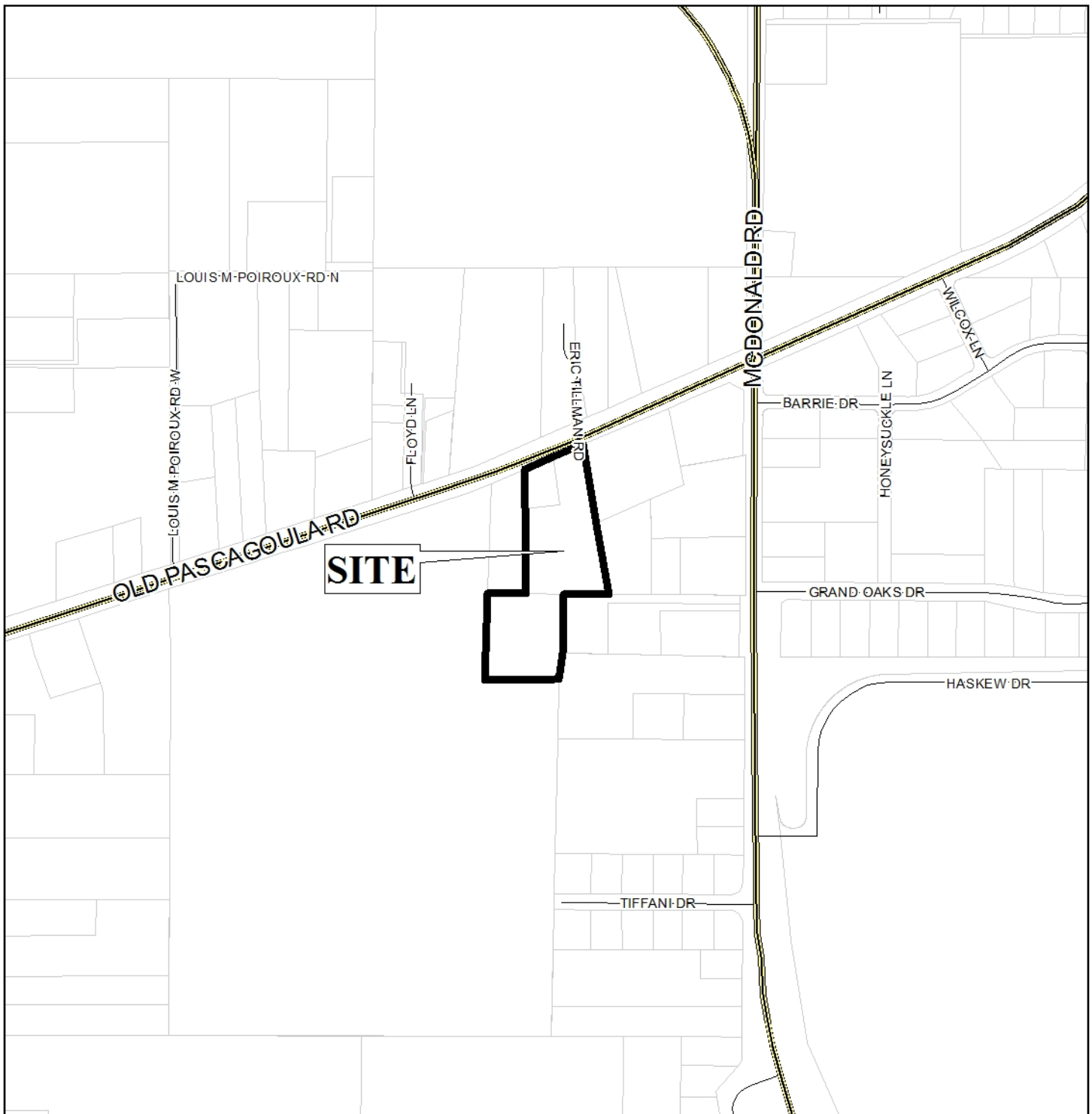
APPLICANT Coleman Acres Subdivision

REQUEST Subdivision



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LOCATOR ZONING MAP



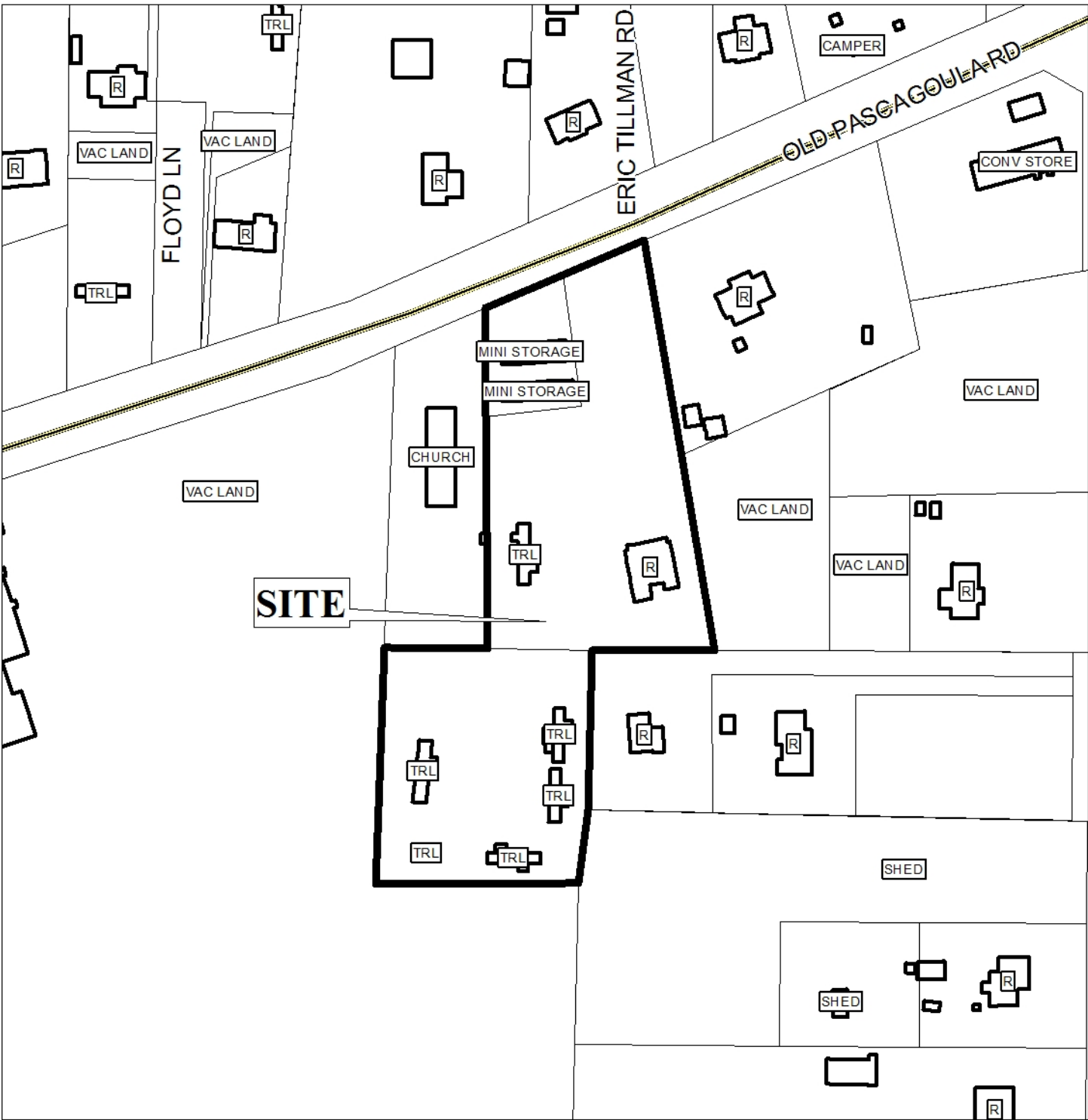
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APPLICANT Coleman Acres Subdivision

REQUEST Subdivision



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



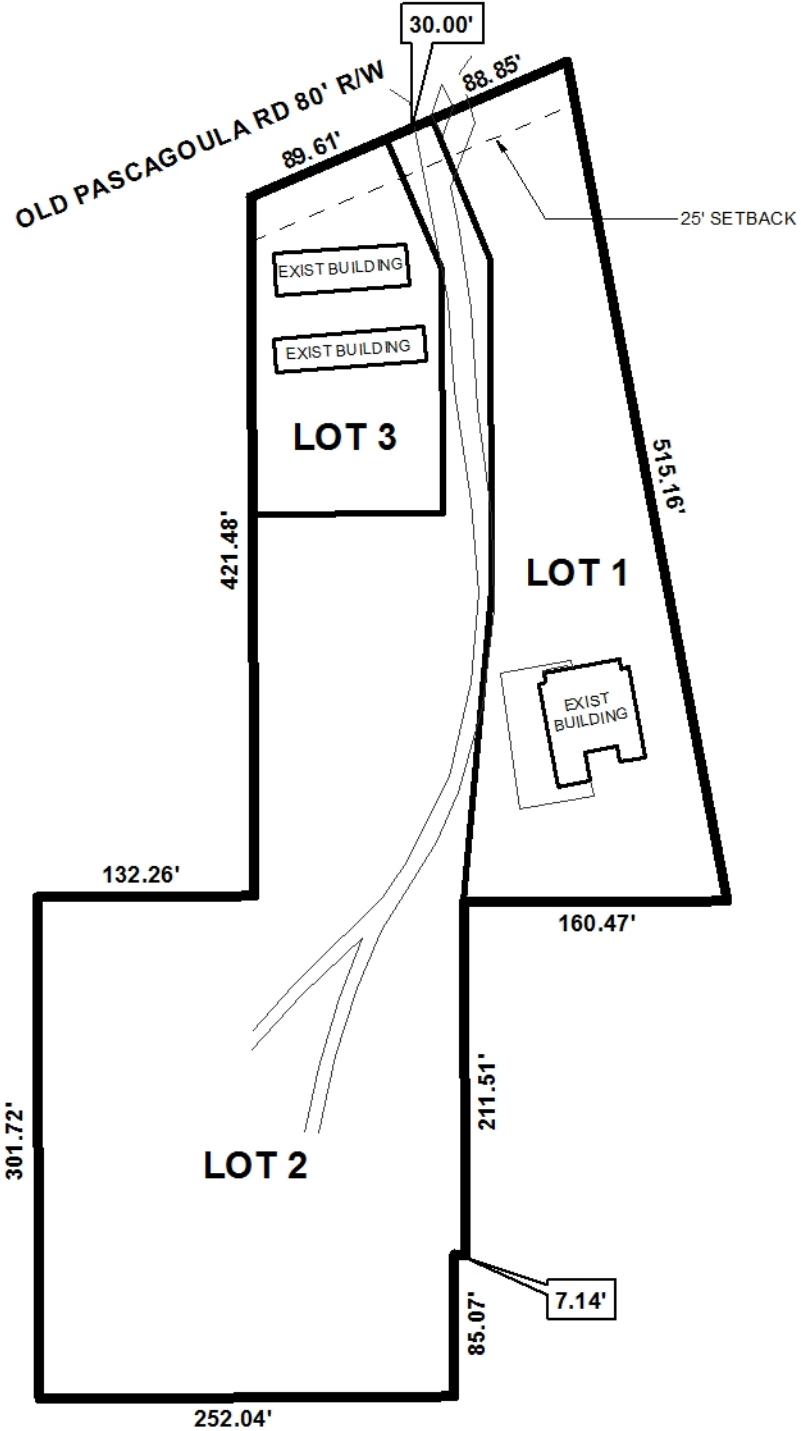
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DETAIL SITE PLAN



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