

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: October 3, 2013****DEVELOPMENT NAME**

Providence Hospital and Citrin &amp; Rihner Enterprises

**SUBDIVISION NAME**

Providence Park Subdivision, POB West, North Addition

**LOCATION**600 Providence Park Drive East  
(West side of Providence Park Drive East, (private street),  
2/10± mile South of Airport Boulevard)**CITY COUNCIL  
DISTRICT**

District 6

**AREA OF PROPERTY**

3 Lots / 11.6 ± acres

**CONTEMPLATED USE**

Planned Unit Development Approval to amend the conditions of a previously approved Planned Unit Development to allow the expansion of lots and parking area, and Subdivision approval to create 3 lots.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Immediately

**ENGINEERING  
COMMENTS**

Subdivision: The following comments should be addressed prior to acceptance and signature by the City Engineer:

1. Provide all of the required information on the Plat ( i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, bearings and distances).
2. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).
3. Add a signature block for the Owner, Notary, Planning Commission, Traffic Engineer, City Engineer, and County Engineer.
4. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
5. Provide and label the monument set or found at each subdivision corner.
6. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
7. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity.

**Planned Unit Development**

- 1) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). The applicant must also contact ALDOT – Ninth Division to see if any ALDOT Permits are required for this proposed project.
- 2) Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- 3) A complete set of construction plans for the site work – including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.
- 4) Must comply with all Engineering Department Policy Letters:
  - a. 5-13-2009 Policy Letter (Car wash drains and dumpster pads to drain to Sanitary Sewer System)
  - b. 8-4-2004 Policy Letter (Video inspection of new Storm Sewer System Piping)
  - c. 3-18-2004 Policy Letter (Additional subdivision street requirements)

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the 53” Live Oak Tree located on the North West side of the proposed Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**MAWSS****COMMENTS**

MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS

cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to amend the conditions of a previously approved Planned Unit Development to allow the expansion of lots and parking area, and Subdivision approval to create 3 lots. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

The Subdivision aspect of this application was heldover from the September 5<sup>th</sup> meeting to allow for revision of the preliminary plat, and to allow for the submission of an application to amend the existing PUD.

The purpose of this application is to resubdivide two legal lots, a portion of another lot, and a portion of a parcel, creating three new lots, to allow for the expansion of parking for an existing medical office, and the construction of a new medical office.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned B-3, Community Business District, thus the proposed medical office uses are allowed by right. Furthermore, this district allows up to 50% building site coverage and a 25-foot front yard setback and zero-foot side and rear yard setbacks (when abutting other commercial zoning districts).

The site has been through the PUD review process multiple times since 2006. The most recent approval by the Planning Commission was granted at its March 5, 2009 meeting, amending a condition on a previously approved PUD.

The proposed expansion of the parking area for the existing medical office on Lot 1 will add 32 parking spaces to the existing 57 parking spaces serving the medical office, providing a total of 89 parking spaces. The proposed parking expansion appears to trigger compliance with Section

64-6.A.8. Parking Lot Lighting, of the Zoning Ordinance, which specifies minimum and maximum lighting requirements, and requires the submission of a photometric plan during the permitting process.

The development proposed for Lot 2 depicts a building with a footprint of 10,400  $\pm$  square feet, and 78 parking spaces.

The size of existing and proposed parking spaces is not depicted on the site plan, but it should be noted that all parking spaces must be a minimum of 9 x 18 feet, and that any accessible parking spaces required by the applicable building code regulations include the appropriate signage, markings and access aisles.

No information is provided regarding tree and landscape compliance for either Lot 1 or 2. Staff has calculated that Lot 1 will require a minimum of 11,761 square feet of landscape area, and that Lot 2 will require a minimum of 7,423 square feet of landscape area. Regarding trees, frontage trees will be required along both Providence Park East as well as along the two proposed future streets abutting both Lots 1 and 2, which are currently proposed to be part of Lot 3. The applicant should verify that the development on both Lots 1 and 2 will comply with the tree and landscape requirements of the Zoning Ordinance, or make minor adjustments to the site plan to ensure compliance.

Any new dumpsters placed on either lot proposed for new or expanded development must comply with Section 64-4.D.9. of the Zoning Ordinance regarding screening and connection to sanitary sewer. Any existing or proposed dumpsters should be labeled on the PUD site plan as well as any plan submitted for building permits.

The site plans for Lot 1 and 2 depict curb-cuts to Providence Park Drive East. Lot 1 has two existing curb-cuts, as per previous approvals, and the development proposed on Lot 2 depicts one curb-cut to Providence Park Drive East. As PUD approval is site plan specific, Lots 1 and 2 should be limited to the curb-cuts as depicted. Lot 3, not currently slated for development, should be limited to one curb-cut to Providence Park Drive East. The size, design and location of any new curb-cuts, or modification to existing curb-cuts, are to be approved by Traffic Engineering, and to conform to AASHTO standards. The curb-cut limitations should also be noted on the preliminary plat, if approved.

It should be pointed out that sidewalks, existing or proposed, are not depicted on the site plan. The site plan should be revised to depict existing and proposed sidewalks along Providence Park Drive East.

The preliminary plat and the PUD site plan depict the lot sizes in acres but not in square feet. Both should be revised to also include the lot size in square feet.

The preliminary plat and the PUD site plan depict a 50-foot minimum building setback line along Providence Park Drive East for Lots 1 and 2, but no setback line is depicted for Lot 3 where it is a minimum of 60-feet in width, nor are setback lines depicted for Lot 1 where it abuts a proposed future street, whereas a setback is proposed for Lot 2 where it abuts a future proposed

street. Both the plat and site plan should be revised to show setbacks for all proposed lots, along all existing or proposed streets. A note on the plat states that there are 25-foot minimum setbacks, which conflicts with what is depicted.

The preliminary plat depicts a future development area of approximately 22 acres. This remainder should also be depicted on the final plat, if approved, as a “future development” area.

All proposed lots exceed the minimum size requirements for properties with access to public water and sanitary sewer facilities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

## **RECOMMENDATION**

**Subdivision:** Based upon the preceding, this application is recommended Tentative Approval, subject to the following conditions:

- 1) Revision of the plat to depict and label setbacks from all existing and proposed streets for all three lots, where the lots are a minimum of 60-feet in width;
- 2) Revision of the plat to also include the lot size in square feet;
- 3) Placement of a note on the plat stating that Lot 1 is limited to its two existing curb-cuts to Providence Park Drive East, that Lots 2 and 3 are limited to one curb-cut each to Providence Park Drive East, with the size, design and location to be approved by Traffic Engineering and to comply with AASHTO standards;
- 4) Removal of the conflicting note stating that the setbacks are 25 feet;
- 5) Depiction and labeling of the “future development” area on the final plat;
- 6) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 7) Compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide all of the required information on the Plat ( i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, bearings and distances). 2. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). 3. Add a signature block for the Owner, Notary, Planning Commission, Traffic Engineer, City Engineer, and County Engineer. 4. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. 5. Provide and label the monument set or found at each subdivision corner. 6. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. 7. Add a note to the Plat stating that the approval of all applicable federal, state, and local*

- agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity.);*
- 8) Compliance with Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
  - 9) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 53" Live Oak Tree located on the North West side of the proposed Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.);*
  - 10) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);* and
  - 11) Submission of a revised PUD site plan prior to the signing of the final plat.

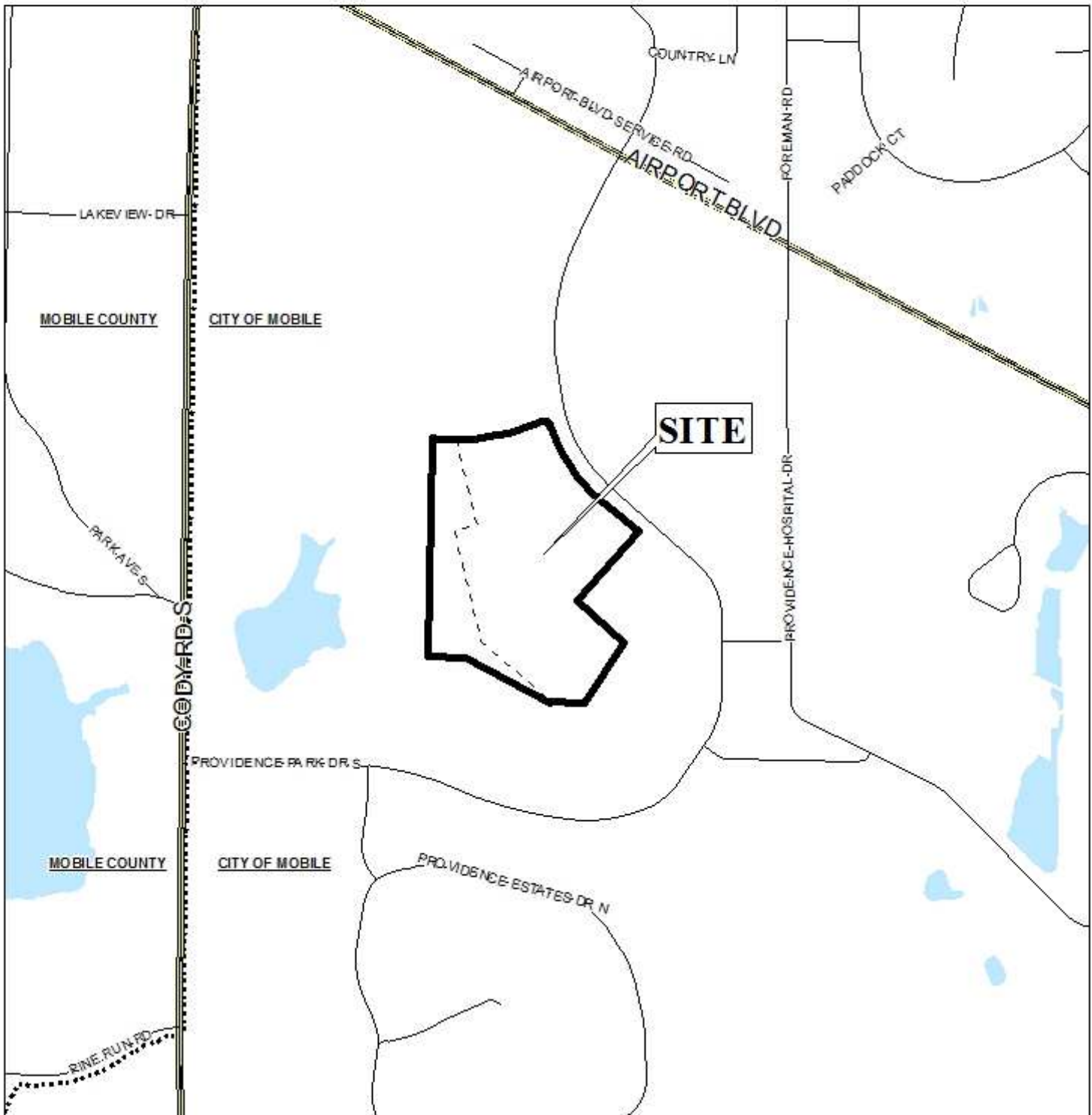
**Planned Unit Development:** Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) Revision of the site plan to depict and label setbacks from all existing and proposed streets for all three lots, where the lots are a minimum of 60-feet in width;
- 2) Revision of the site plan to also include the lot size in square feet;
- 3) Revision of the site plan to depict existing and proposed sidewalks along Providence Park Drive East;
- 4) Verification that Lots 1 and 2 will each fully comply with the tree and landscape requirements of Section 64-4.E. of the Zoning Ordinance;
- 5) Compliance with Section 64-6.A.8. of the Zoning Ordinance, regarding Parking Lot Lighting;
- 6) All parking spaces must be a minimum of 9 x 18 feet, and any accessible parking spaces required by the applicable building code regulations include the appropriate signage, markings and access aisles;
- 7) Any new dumpsters placed on either lot proposed for new or expanded development must comply with Section 64-4.D.9. of the Zoning Ordinance regarding screening and connection to sanitary sewer, and all existing dumpsters should be labeled;
- 8) Compliance with Engineering comments (*1) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). The applicant must also contact ALDOT – Ninth Division to see if any ALDOT Permit s are required for this proposed project. 2) Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3) A complete set of construction plans for the site work – including, but not limited to, drainage, utilities,*

*grading, storm water detention systems, paving, and all above ground structures, will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. 4) Must comply with all Engineering Department Policy Letters: a. 5-13-2009 Policy Letter (Car wash drains and dumpster pads to drain to Sanitary Sewer System); b. 8-4-2004 Policy Letter (Video inspection of new Storm Sewer System Piping) ;c. 3-18-2004 Policy Letter (Additional subdivision street requirements));*

- 9) *Compliance with Traffic Engineering comments (Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 10) *Compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Preservation status is to be given to the 53" Live Oak Tree located on the North West side of the proposed Lot 1. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.);*
- 11) *Compliance with Fire comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 12) *Submission of a revised PUD site plan prior to the signing of the final plat; and*
- 13) *Full compliance with all other municipal codes and ordinances.*

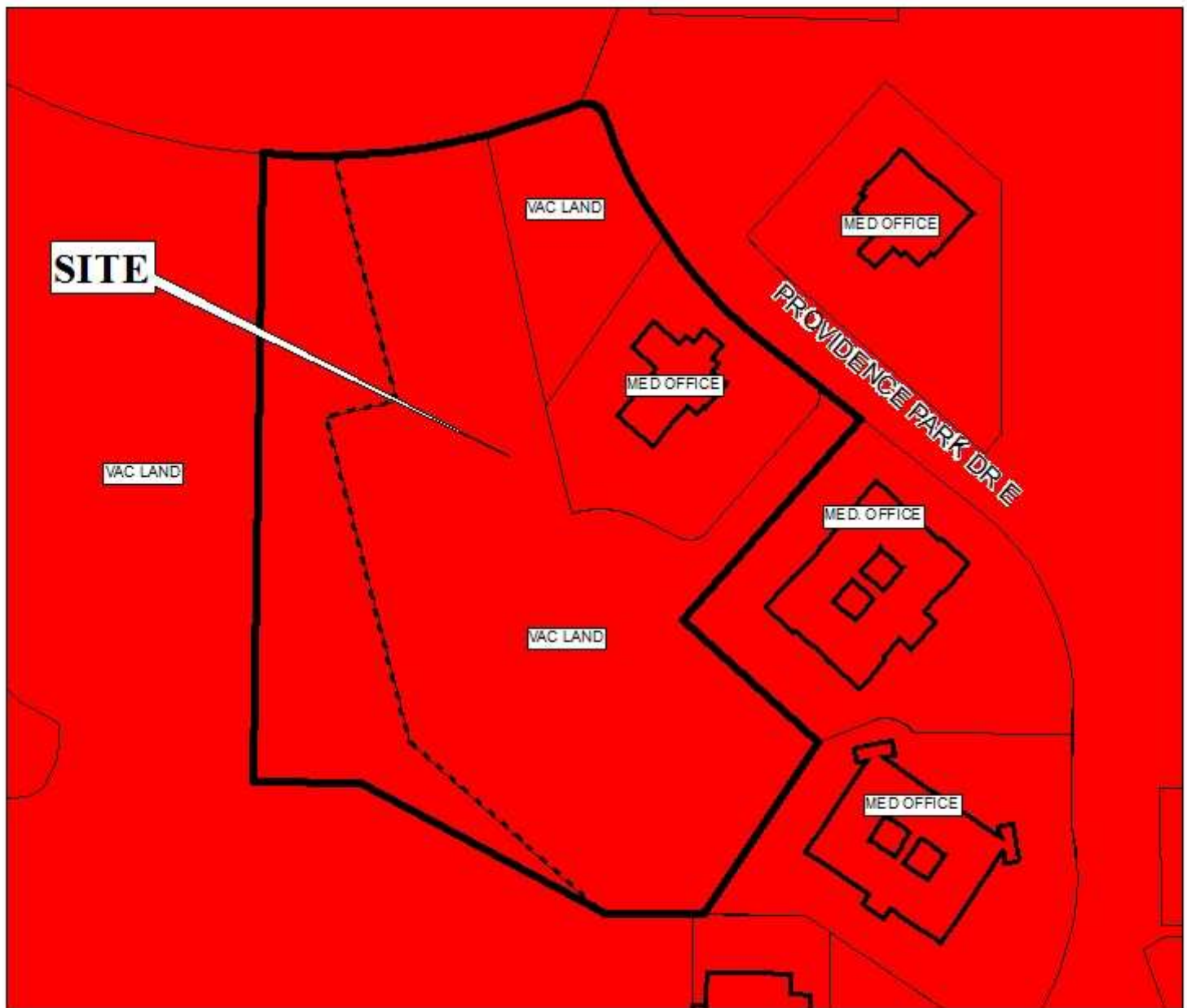
# LOCATOR MAP



APPLICATION NUMBER 42 & 43 DATE October 3, 2013  
APPLICANT Providence Park Subdivision, POB West, North Addition  
REQUEST Subdivision, Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by medical offices.

APPLICATION NUMBER 42 & 43 DATE October 3, 2013  
 APPLICANT Providence Park Subdivision, POB West, North Addition  
 REQUEST Subdivision, Planned Unit Development

LEGEND



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

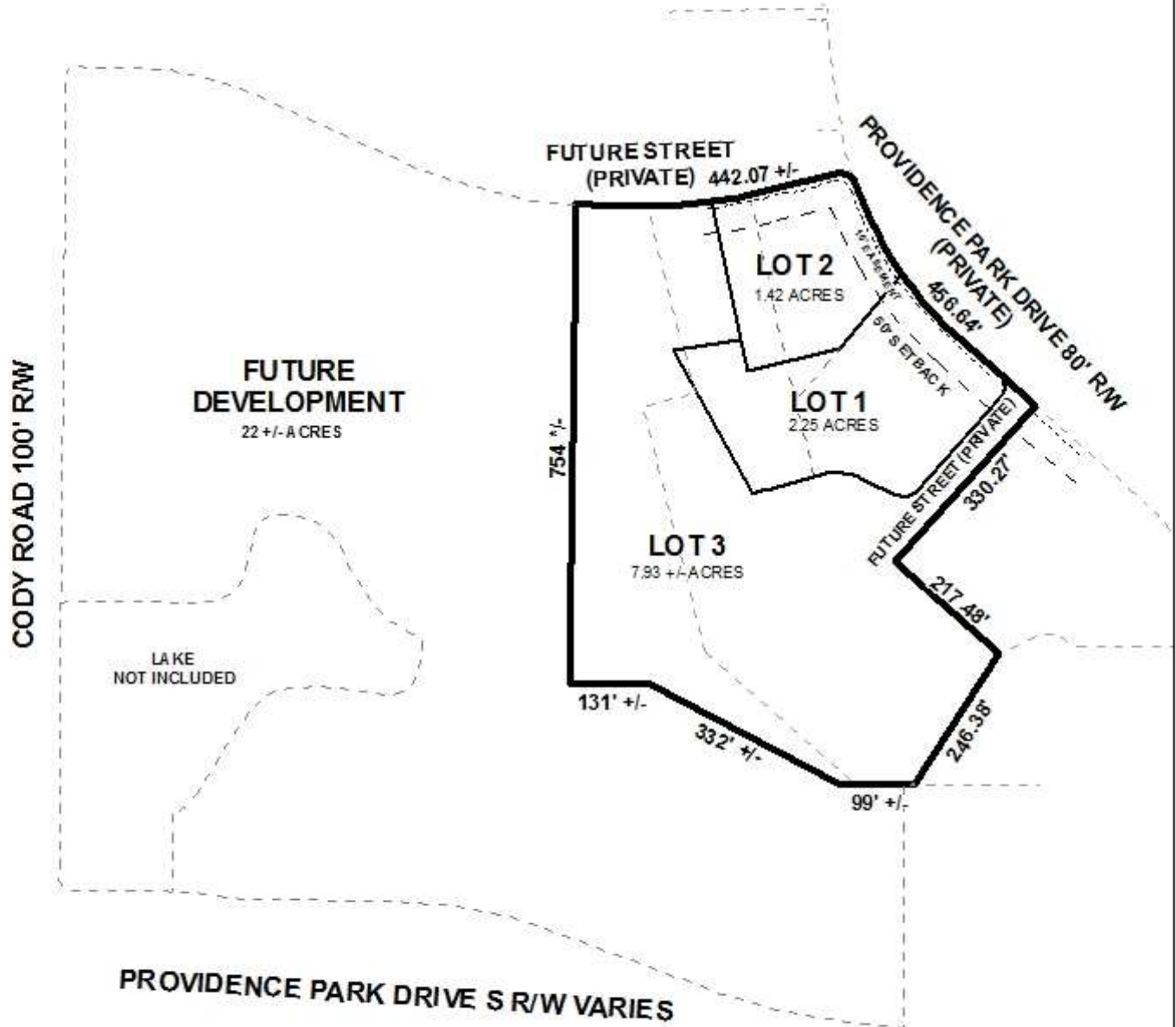


The site is surrounded by medical offices.

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REQUEST Subdivision, Planned Unit Development



# SITE PLAN

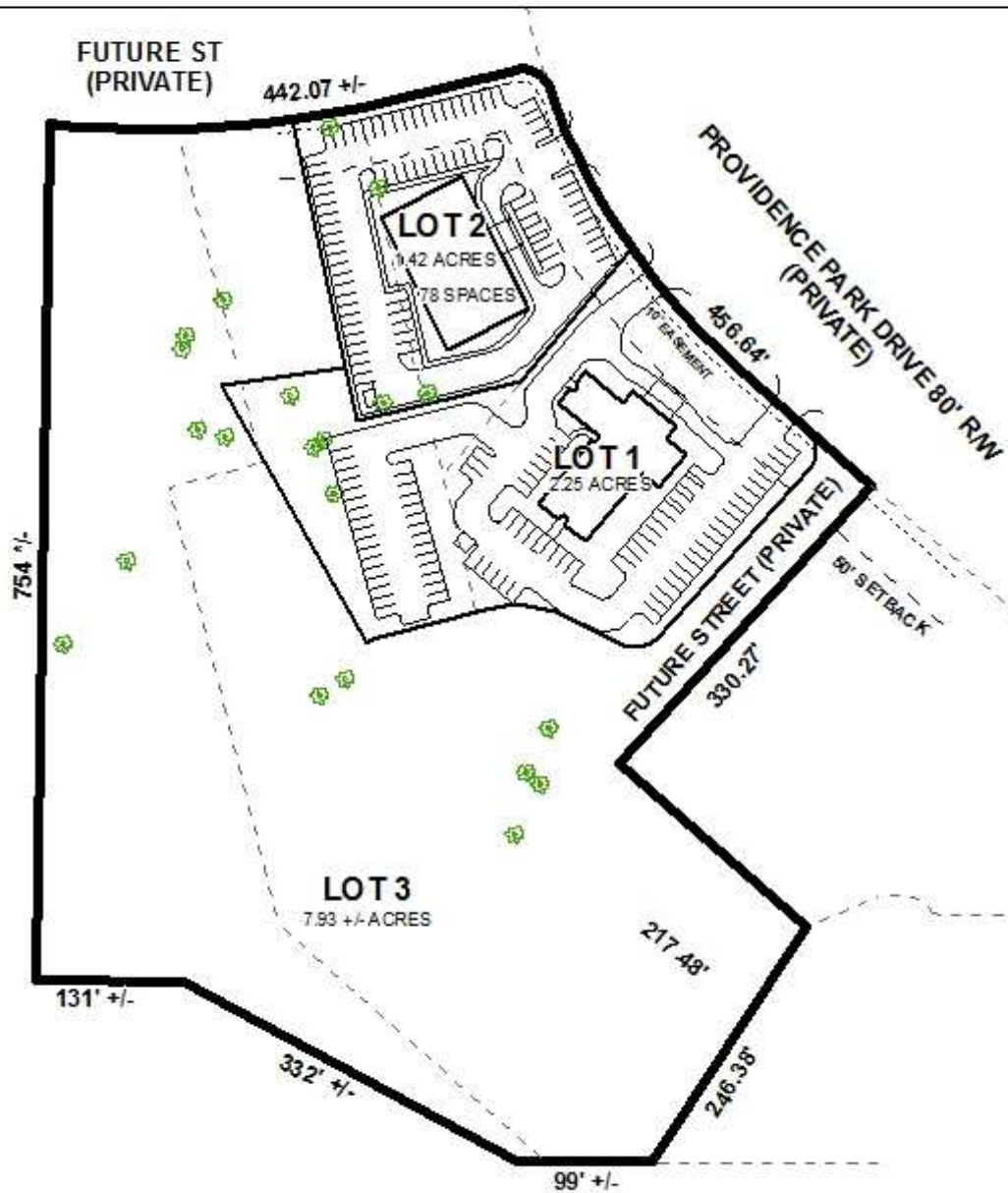


The site plan illustrates the proposed lots, future streets, setback, easement, and the future development area.

APPLICATION NUMBER 42 & 43 DATE October 3, 2013  
APPLICANT Providence Park Subdivision, POB West, North Addition  
REQUEST Subdivision, Planned Unit Development



# SITE PLAN



The site plan illustrates the proposed lots, buildings, parking spaces, future streets, setback, and easement.

APPLICATION NUMBER 42 & 43 DATE October 3, 2013  
 APPLICANT Providence Park Subdivision, POB West, North Addition  
 REQUEST Subdivision, Planned Unit Development

LEGEND															
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	

