

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: June 5, 2008****DEVELOPMENT NAME**

Fort Conde Restoration

**SUBDIVISION NAME**

Fort Conde Restoration Subdivision

**LOCATION**

163 &amp; 165 St. Emanuel Street

**CITY COUNCIL****DISTRICT**

District 2

**PRESENT****ZONING DISTRICT**

H-B, Historical Business District

**AREA OF PROPERTY**

4 lot / 0.56± acres

**CONTEMPLATED USE**

Subdivision Approval to create four legal lots of record from four metes and bounds parcels and Planned Unit Development Approval to allow shared access between two building sites.

**TIME SCHEDULE****FOR DEVELOPMENT**

None Given

**ENGINEERING**

Show all special flood hazard areas on the plat. Show Minimum FFE on plans and plat for all special flood hazard areas. Must comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property.

**TRAFFIC ENGINEERING****COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

**REMARKS**

The applicant is seeking Subdivision Approval to create four legal lots of record from four metes and bounds parcels and Planned Unit Development Approval to allow shared access between two building sites. The site is located in Council District 2, and according to the applicant is served by city water and sanitary sewer facilities.

The site is located in Fort Conde Village, which is unique in that it is the only area within the City of Mobile that has this classification. The Ordinance specifically describes the H-B District as areas containing architecturally or historically valuable buildings. By reason of location and accessibility, the districts are suitable for specialty shopping and entertainment activities for tourist and local trade. The district regulations are designed to protect the special character of the areas, to encourage restoration of architecturally and historically valuable buildings and their adaptation to house permitted uses and to encourage further appropriate development for a limited number of mutually supporting light business and cultural uses.

This site was recently approved for a Bed and Breakfast in December 2007. A condition of approval was the completion of Subdivision and Planned Unit Development processes (prior to the issuance of a Certificate of Occupancy); hence this application.

The site fronts St. Emanuel Street and Monroe Street, both with sufficient right-of-way; thus, no dedication is required.

As proposed, Lots 1 – 4 have 45, 29, 51, and 78' of frontage respectively along St. Emanuel Street, and Lot 4 has approximately 118' of frontage along Monroe Street. As a means of access management, a note should be placed on the final plat stating that each lot is limited to one curb cut to St. Emanuel Street, and Lot 4 is limited to one curb cut to Monroe Street, with the size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards.

It should be noted that Lots 1 and 2 are substandard in size and width, and they exceed the maximum width to depth ratio. However, given the age of the parcels and their location in Historic Fort Conde Village (typical substandard lots), a waiver of Sections V.D.2. and 3. of the Subdivision Regulations may be appropriate.

There is no depiction of the minimum building setback line on the plat, which should be addressed prior to signing the final plat. A minimum 5' front setback is required in a Historic Business District.

As proposed, the site does not reflect an adequate radius at the intersection of St. Emanuel Street and Monroe Street. The applicant should revise the plat to comply with Section V.B.16. of the Subdivision Regulations.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The PUD aspect of this application is for the shared cross-access between Lots 3 and 4, which are the Spear Barter and Hall Ford Houses, respectively. Given the historic nature of the Fort Conde Village and the existence of several large canopy trees, it is recommended that the applicant coordinate with Urban Forestry regarding the number and placement of required trees, if any.

There is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. The location of the storage area for the dumpster must be illustrated on the site plan and labeled, and the location and required screening must comply with Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

Furthermore, the site is within the Core Area of Downtown Mobile; thus, no parking is required. It is very important to note, however, that Planned Unit Development review is site plan specific; therefore any future changes to the site plan (including the addition of parking) will require an amendment to the PUD.

## **RECOMMENDATION**

**Subdivision:** With a waiver of Sections V.D.2. and 3. of the Subdivision Regulations, this application is recommended for Tentative Approval, subject to the following conditions:

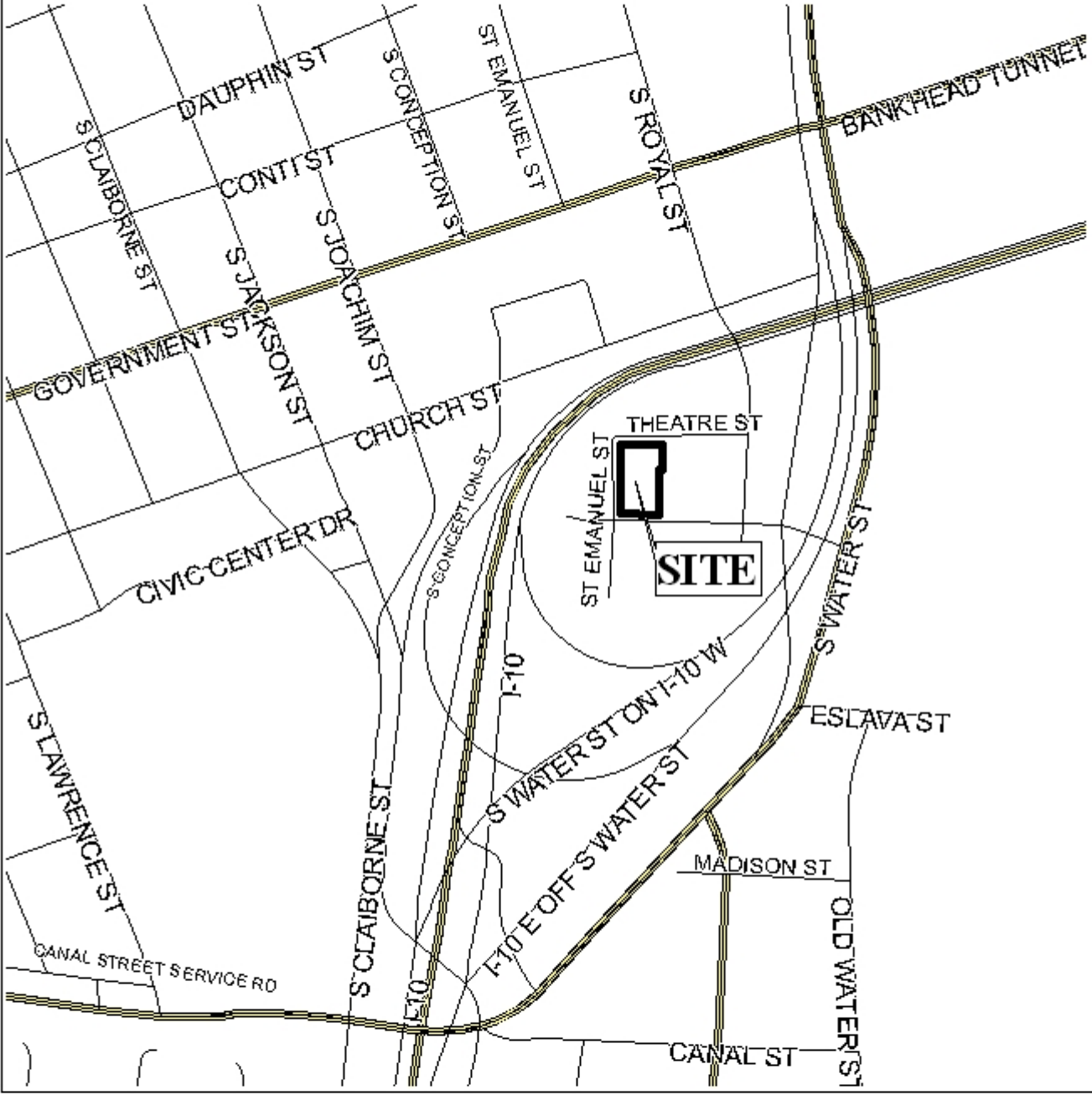
- 1) completion of the subdivision and PUD processes prior to the issuance of a C/O;
- 2) placement of a note on the final plat stating that each lot is limited to one curb cut to St. Emanuel Street, and Lot 4 is limited to one curb cut to Monroe Street, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) depiction of the 5' minimum building setback line prior to signing the final plat;
- 4) provision of an adequate radius, in compliance with Section V.B.16. of the Subdivision Regulations, at the intersection of St. Emanuel Street and Monroe Street;
- 5) provision of a revised PUD site plan to the Planning Section of Urban Development prior to signing the final plat; and
- 6) compliance with Engineering Comments (*Show all special flood hazard areas on the plat. Show Minimum FFE on plans and plat for all special flood hazard areas. Must*

*comply with all storm water and flood control ordinances. Cannot concentrate storm water runoff to an adjacent property without a release agreement or a private drainage easement. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Any work performed in the right of way will require a right of way permit. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property).*

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval:

- 1) completion of the subdivision and PUD processes prior to the issuance of a C/O;
- 2) coordination with Urban Forestry regarding the number and placement of required trees, if any;
- 3) revision of the site plan to illustrate the location of a dumpster (and proper screening), or the placement of a note indicating that one will not be provided;
- 4) placement of a note on the site plan stating that Planned Unit Development review is site plan specific; therefore any future changes to the site plan (including the addition of parking) will require an amendment to the PUD; and
- 5) provision of a revised PUD site plan to the Planning Section of Urban Development prior to signing the final subdivision plat.

## LOCATOR MAP



APPLICATION NUMBER 36 & 37 DATE June 5, 2008

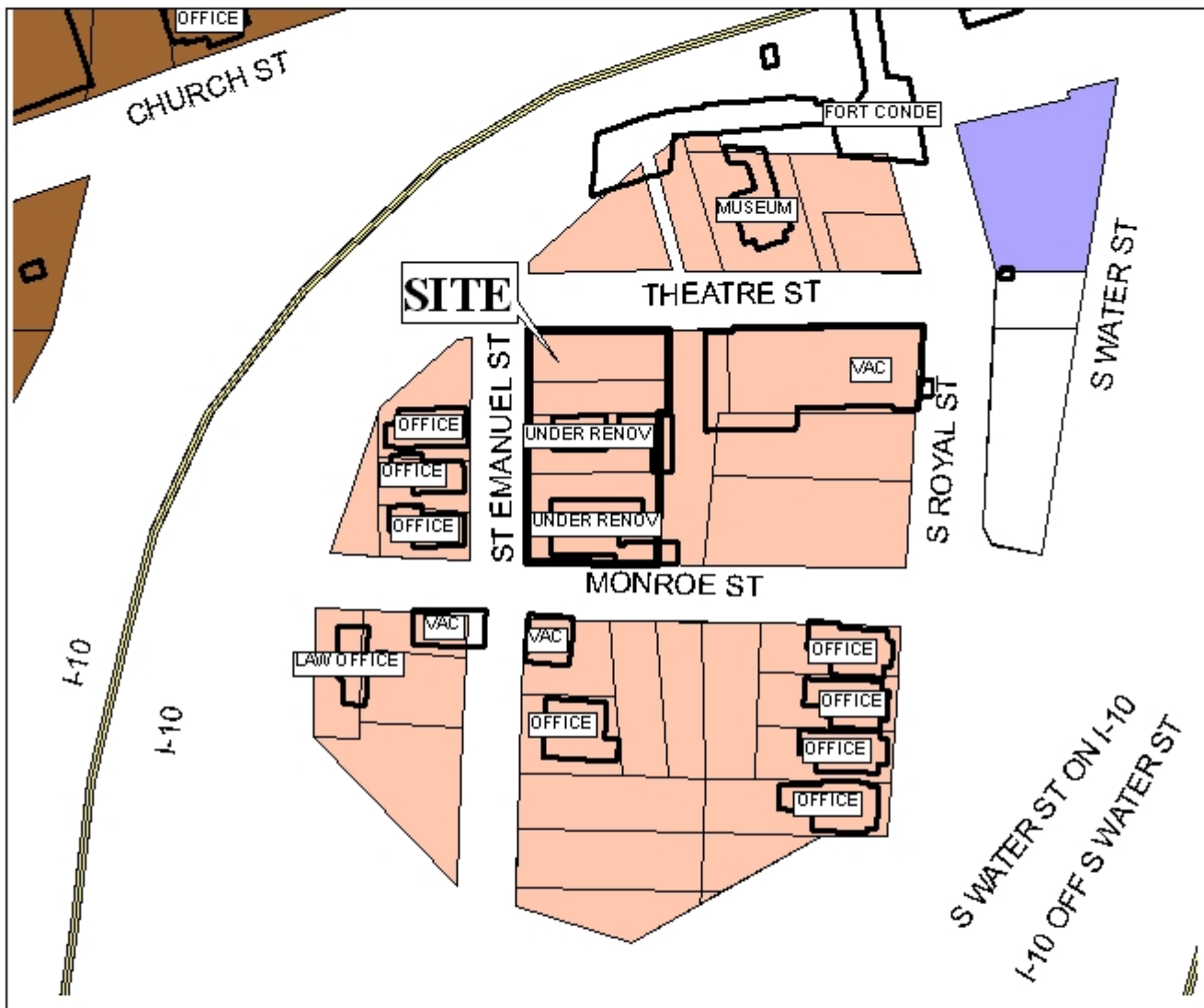
APPLICANT Fort Conde Restoration Subdivision

REQUEST Subdivision, Planned Unit Development



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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Offices are to the west of the site, a vacant building is to the south and east, and the Fort Conde Museum is to the north.

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APPLICANT Forte Conde Restoration Venture, L.L.C.

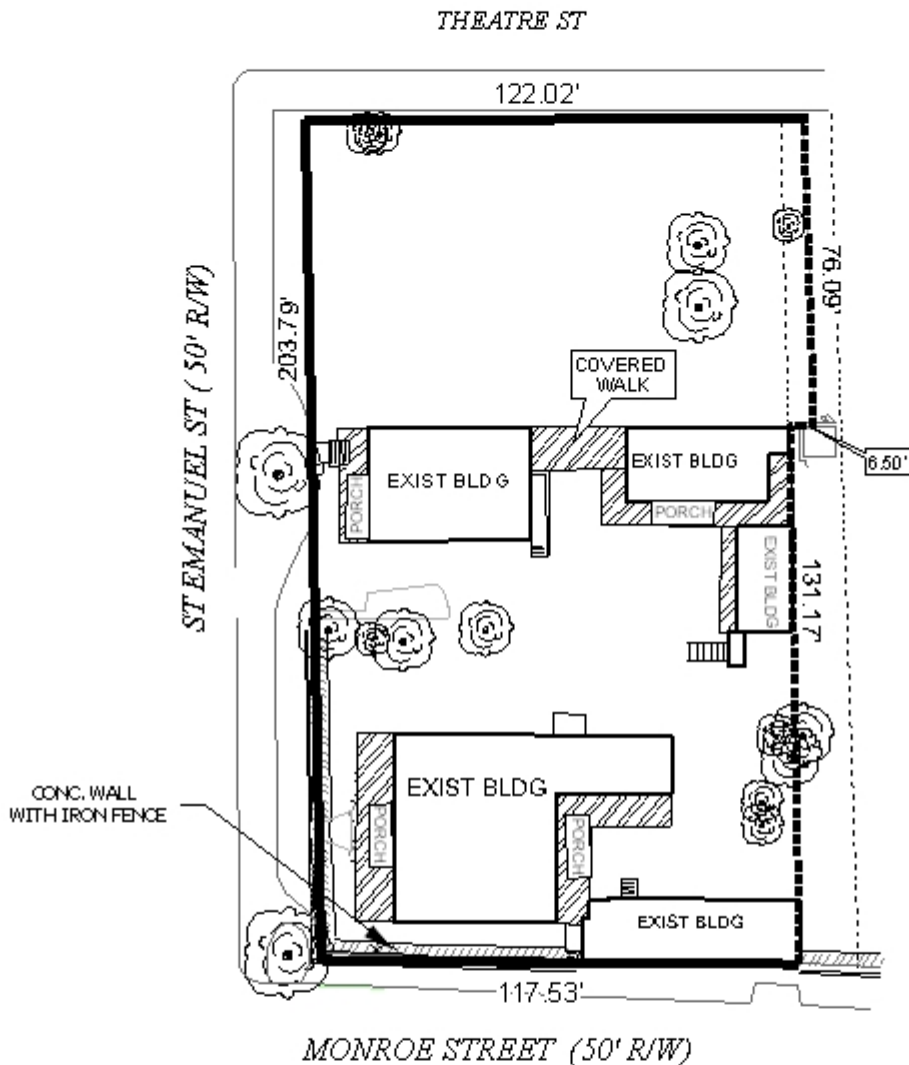
REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# SITE PLAN



The site plan illustrates the existing buildings, concrete/brick walls, and fence.

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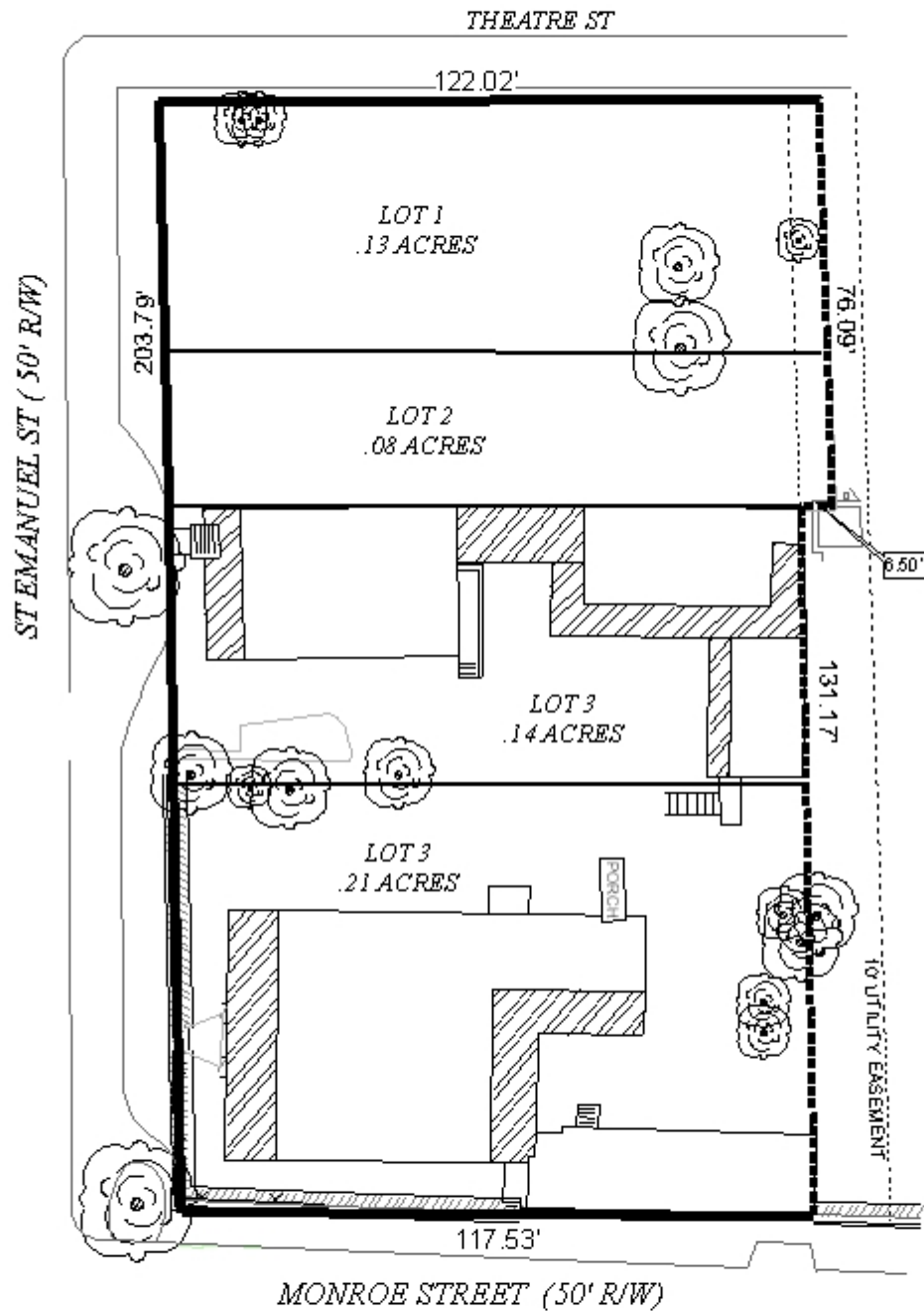
APPLICANT Fort Conde Restoration Venture, L.L.C.

REQUEST Subdivision, Planned Unit Development



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# SUBDIVISION DETAIL



APPLICATION NUMBER 36 & 37 DATE June 5, 2008  
 APPLICANT Fort Conde Restoration Subdivision  
 REQUEST Subdivision, Planned Unit Development

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