

**SUBDIVISION,
PLANNING APPROVAL,
PLANNED UNIT DEVELOPMENT &
SIDEWALK WAIVER REQUEST
STAFF REPORT**

Date: February 7, 2013

<u>NAME</u>	Country Club of Mobile
<u>SUBDIVISION NAME</u>	Country Club of Mobile Subdivision
<u>LOCATION</u>	4101 Wimbledon Drive West (North and South sides of Wimbledon Drive West, 200'+ West of Turnin Lane, extending to the East and South sides of Country Club Road, and the North side of Airport Boulevard, ¼ mile+ West of South McGregor Avenue)
<u>CITY COUNCIL DISTRICT</u>	District 5
<u>PRESENT ZONING</u>	R-1, Single-Family Residential District
<u>AREA OF PROPERTY</u>	2 Lots / 189.5 ± Acres
<u>CONTEMPLATED USE</u>	Subdivision approval to create 2 lots, Planned Unit Development approval and Planning Approval to amend a previously approved Planned Unit Development and Planning Approval to allow a private club with multiple buildings on multiple building sites to include tennis courts, tennis building, golf building, practice tees, driving range, golf holes and remodeling of the swimming pools, and Sidewalk Waiver approval to waive construction of a sidewalk along Airport Boulevard, Wimbledon Drive East and Country Club Road.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Project to commence upon receipt of all necessary approvals, with completion anticipated within one year.
<u>ENGINEERING COMMENTS</u>	<p>The following comments should be addressed prior to review, acceptance and signature by the City Engineer:</p> <ol style="list-style-type: none">1) Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).2) Provide a signature block and signature from the Traffic Engineering Department.

- 3) Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).
- 4) Add a note to the PUD and Planning Approval site plans stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).
- 5) Add a note to the PUD and Planning Approval site plans stating that the existing curb cuts will be required to be repaired/replaced, as needed, at the time of requesting a Building Permit or Land Disturbance Permit.
- 6) Add a note that any work within the ROW will require a ROW Permit from the Engineering Department (208-6070).

Sidewalk Waiver: Due to the existing site conditions and limited usable land adjacent to the existing roadways it is recommended that this request be approved for Wimbledon Drive East and Country Club Road.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Subdivision approval to create 2 lots, Planned Unit Development approval and Planning Approval to amend a previously approved Planned Unit Development and Planning Approval to allow a private club in an R-1 district with multiple buildings on multiple building sites to include tennis courts, tennis building, golf building, practice tees, driving range, golf holes and remodeling of the swimming pools, and Sidewalk Waiver approval to waive construction of a sidewalk along Airport Boulevard, Wimbledon Drive East and Country Club Road. Planned Unit Development approval is required due to multiple buildings on multiple sites, while Planning Approval is required to allow a private club in an R-1 district.

The applicant wishes to add two new buildings and make other site improvements to an existing private club, established at this location in 1914. Specifically, a new 1,500 square foot tennis building and a new 1,800 square foot golf building, along with two new tennis courts and a redesign of the golf course area North of Wimbledon Drive East are proposed. The applicant is

also including the reconstruction of the existing swimming pool area next to the main clubhouse facility on the site, on the South side of Wimbledon Drive East.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It should be noted that Planning Approval and PUD approval are site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The overall site was the subject of similar group applications in 2008 in order to allow a new turf maintenance facility on the South side of the club's golf course, near Airport Boulevard. Approval was granted by the Planning Commission at its March 6, 2008 meeting, and subsequently the turf maintenance facility was constructed as proposed. Unfortunately, however, the applicant failed to complete the Subdivision process.

The Subdivision aspect of the application will combine multiple parcels into two legal lots. Due to the large size of the overall site, the property has frontage on multiple streets, two of which are proposed major streets. The site has frontage on Airport Boulevard, a proposed major street with adequate right-of-way. The site also has frontage on Wimbledon Drive West, a proposed major street lacking adequate right-of-way width (its existing right-of-way width is approximately 37-feet). Previous advice from the Planning Commission's legal counsel has indicated that dedication via the Subdivision process along Wimbledon Drive West will not be pursued: any possible future acquisition of the necessary right-of-way will be through the eminent domain process. It is recommended, however, that the 25-foot minimum setback line along Wimbledon Drive West be adjusted to reflect the future right-of-way width of 80 feet. The site also has frontage onto Country Club Road, which appears to only have a 37-foot wide right-of-way from Wimbledon Drive to Westgate Drive: the minimum building setback line should also be adjusted to reflect possible future right-of-way acquisition to provide a 50-foot wide right-of-way.

No new curb-cuts are proposed as part of the site improvements. The site should be limited to its existing curb-cuts, with any new curb-cuts requiring new applications for Subdivision, PUD and Planning Approval.

Regarding the proposed tennis and golf course building improvements, very little impact to adjacent residential uses is anticipated due to their location at least 200 feet from the nearest residence. The greatest long term impact anticipated will be that of any new lighting added to the site (associated with the new buildings, new tennis courts or new driving ranges). The applicant should ensure that any new lighting of the site be so designed as to not shine onto adjacent residential properties or into the public right-of-way: all new lighting must comply with the recently amended requirements of the Zoning Ordinance.

Due to the scale and nature of the proposed improvements, and due to the fact that the overall country club site has an extensive number of trees, no new tree plantings should be required. If site improvements require the removal of a 24-inch or larger live oak tree, the applicant should contact Urban Forestry prior to removal, as approvals may be required.

It should be pointed out that the PUD and Planning Approval site plan does not depict the turf maintenance facility and the associated improvements. The site plans should be revised to depict this facility and its access to Airport Boulevard.

Finally, the applicant is requesting the waiver of the sidewalk requirements for all streets touching the site. A sidewalk waiver was approved for the Airport Boulevard frontage in 2008, and now the applicant wishes to obtain waivers for all remaining streets. Much of the frontage along Wimbledon Drive East and West, and Country Club Road is encumbered by existing trees and topographic irregularities, not to mention sub-standard width rights-of-way. Additionally, the entire residential development surrounding the club property along these streets is lacking in sidewalks, thus there is no connectivity available. While the provision of sidewalks at some point would be desirable, the nature and scope of improvements proposed at this time would not appear to provide a reasonable justification to require sidewalks until more substantial improvements are proposed.

RECOMMENDATION

Planning Approval: Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) Revision of the site plan to depict the turf maintenance facility, associated parking, and access to Airport Boulevard;
- 2) Revision of the site plan to depict the 25-foot minimum building setback along both sides of Wimbledon Drive West to accommodate an 80-foot wide right-of-way;
- 3) Revision of the site plan to depict the 25-foot minimum building setback along Country Club Road to accommodate a 50-foot wide right-of-way;
- 4) Placement of a note on the site plan stating that any new lighting on site will comply with requirements of the Zoning Ordinance;
- 5) Placement of a note on the site plan stating that Urban Forestry shall be contacted prior to the disturbance or removal of any 24-inch DBH or larger live oak tree;

- 6) Placement of a note on the site plan stating that the site is limited to the existing curb-cuts;
- 7) Compliance with Engineering comments (*1) Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).* *2) Provide a signature block and signature from the Traffic Engineering Department.* *3) Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).* *4) Add a note to the PUD and Planning Approval site plans stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045).* *5) Add a note to the PUD and Planning Approval site plans stating that the existing curb cuts will be required to be repaired/replaced, as needed, at the time of requesting a Building Permit or Land Disturbance Permit.* *6) Add a note that any work within the ROW will require a ROW Permit from the Engineering Department (208-6070).);*
- 8) Compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 9) Compliance with Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.*);
- 10) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 11) Submission of a revised Planning Approval site plan prior to any request for permits associated with the new tennis and golf building improvements;
- 12) Completion of the Subdivision process prior to any request for permits associated with the new tennis and golf building improvements; and
- 13) Full compliance with all other municipal codes and ordinances.

Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) Revision of the site plan to depict the turf maintenance facility, associated parking, and access to Airport Boulevard;
- 2) Revision of the site plan to depict the 25-foot minimum building setback along both sides of Wimbledon Drive West to accommodate an 80-foot wide right-of-way;
- 3) Revision of the site plan to depict the 25-foot minimum building setback along Country Club Road to accommodate a 50-foot wide right-of-way;
- 4) Placement of a note on the site plan stating that any new lighting on site will comply with requirements of the Zoning Ordinance;
- 5) Placement of a note on the site plan stating that Urban Forestry shall be contacted prior to the disturbance or removal of any 24-inch DBH or larger live oak tree;
- 6) Placement of a note on the site plan stating that the site is limited to the existing curb-cuts;
- 7) Compliance with Engineering comments (*1) Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal*

description, required notes). 2) Provide a signature block and signature from the Traffic Engineering Department. 3) Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). 4) Add a note to the PUD and Planning Approval site plans stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045). 5) Add a note to the PUD and Planning Approval site plans stating that the existing curb cuts will be required to be repaired/replaced, as needed, at the time of requesting a Building Permit or Land Disturbance Permit. 6) Add a note that any work within the ROW will require a ROW Permit from the Engineering Department (208-6070).);

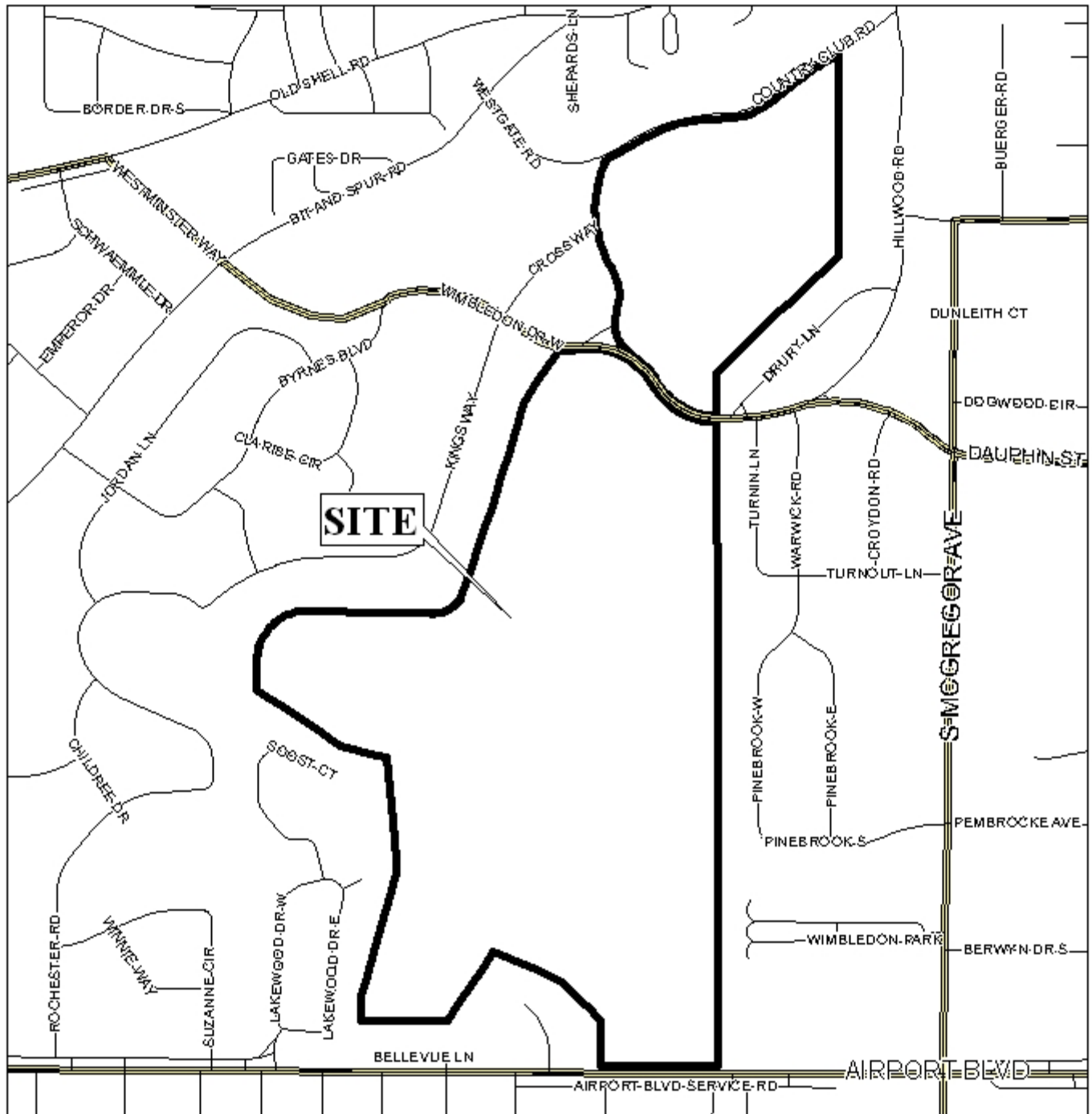
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- 10) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 11) Submission of a revised Planned Unit Development site plan prior to any request for permits associated with the new tennis and golf building improvements;
- 12) Completion of the Subdivision process prior to any request for permits associated with the new tennis and golf building improvements; and
- 13) Full compliance with all other municipal codes and ordinances.

Subdivision: Based upon the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) Revision of the plat to depict the 25-foot minimum building setback along both sides of Wimbledon Drive West to accommodate an 80-foot wide right-of-way;
- 2) Revision of the plat to depict the 25-foot minimum building setback along Country Club Road to accommodate a 50-foot wide right-of-way;
- 3) Submission of revised Planning Approval and Planned Unit Development site plans prior to the signing of the Subdivision plat; and
- 4) Completion of the Subdivision process prior to any request for permits associated with the new tennis and golf building improvements.

Sidewalk Waiver: The request to waive sidewalks along all street frontages is recommended for Approval.

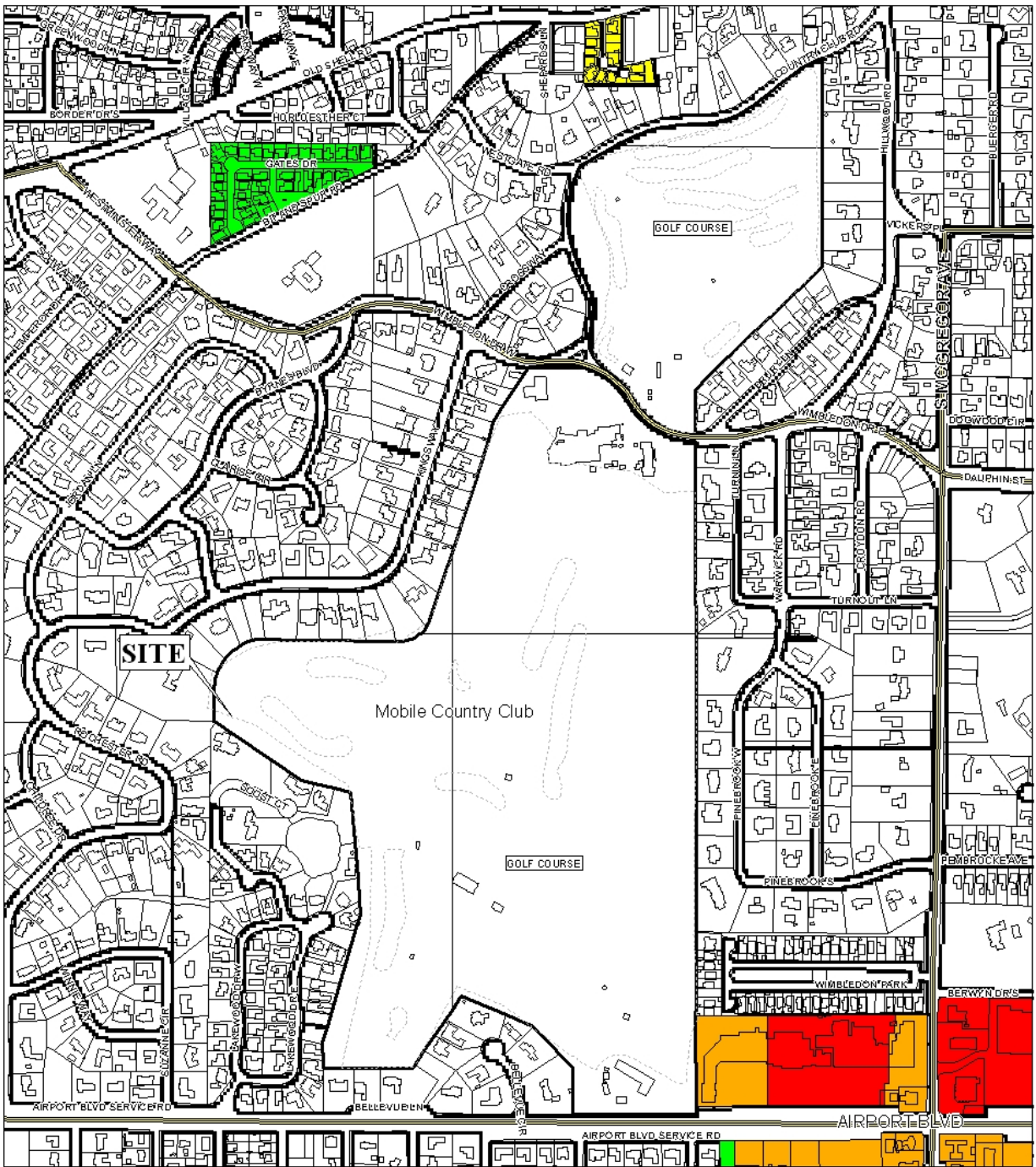
LOCATOR MAP



APPLICATION NUMBER 36, 37, 38 & 39 DATE February 7, 2013
APPLICANT Country Club of Mobile
REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residential neighborhoods.

APPLICATION NUMBER 36, 37, 38 & 39 DATE February 7, 2013

APPLICANT Country Club of Mobile

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

LEGEND



NTS

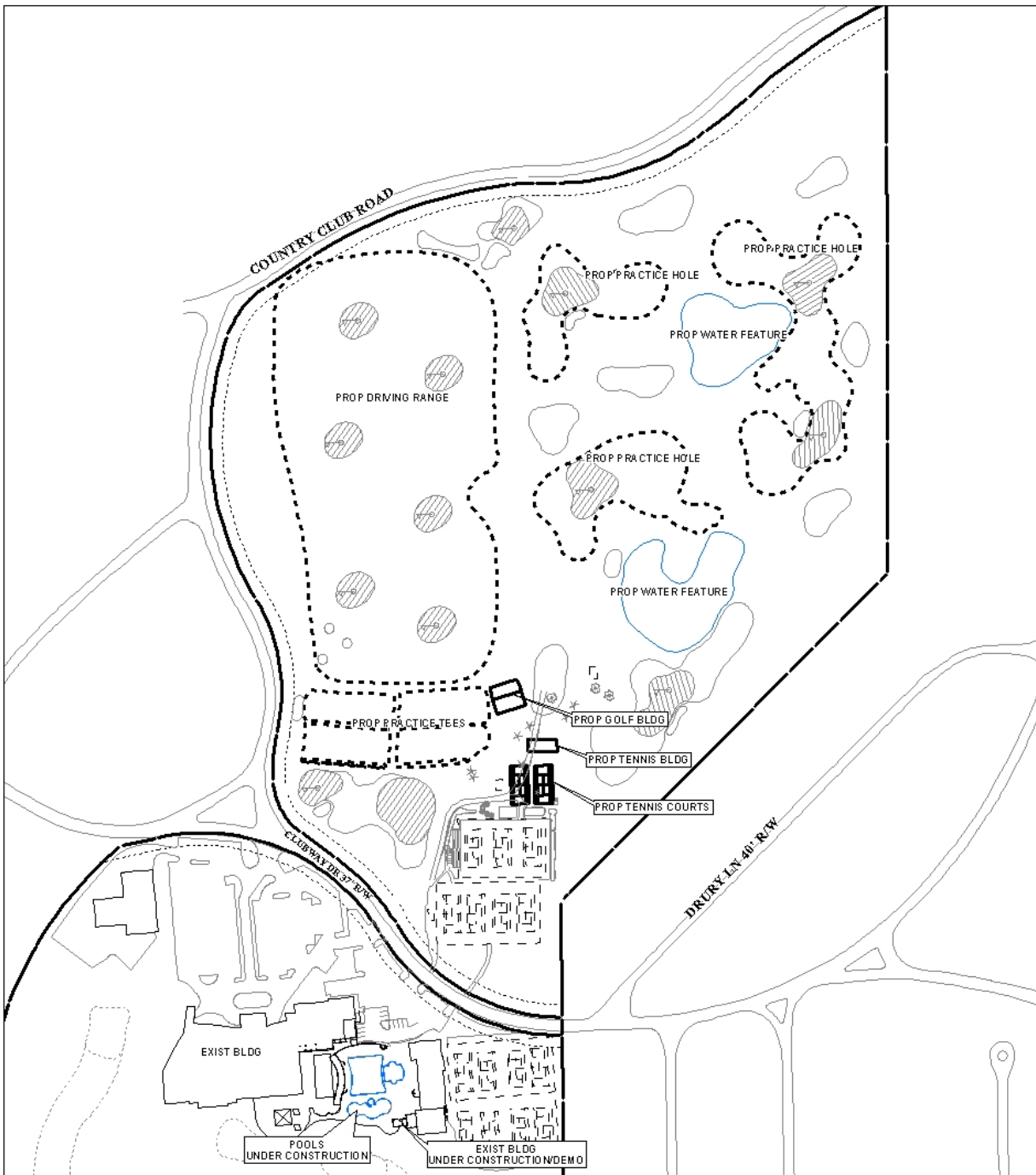
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APPLICATION NUMBER 36, 37, 38 & 39 DATE February 7, 2013

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver



SITE PLAN



The site plan illustrates the proposed improvements.

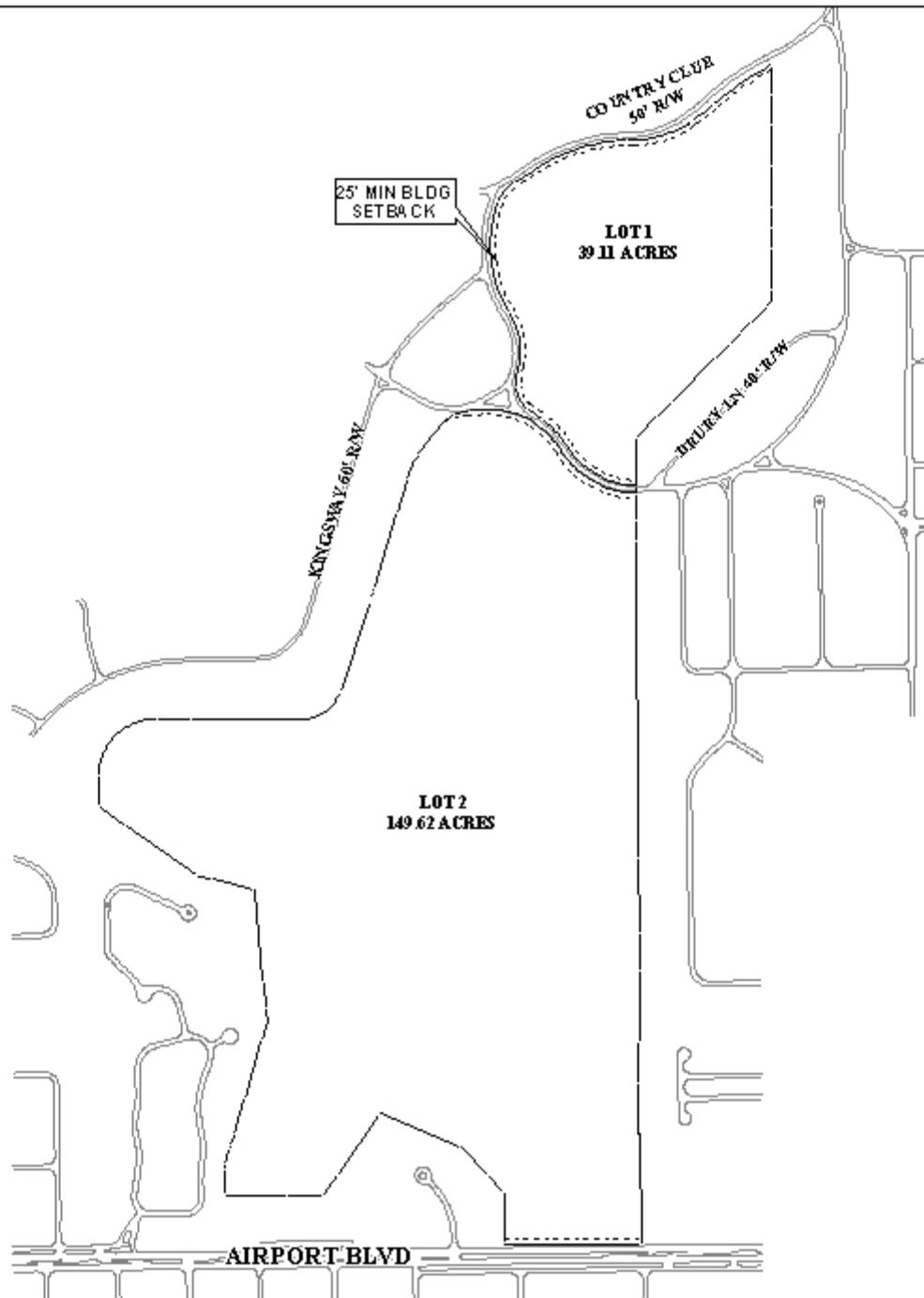
APPLICATION NUMBER 36, 37, 38 & 39 DATE February 7, 2013

APPLICANT Country Club of Mobile

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver



DETAIL SITE PLAN



APPLICATION NUMBER 36, 37, 38 & 39 DATE February 7, 2013

APPLICANT Country Club of Mobile

REQUEST Subdivision, PUD, Planning Approval, Sidewalk Waiver

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