

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: January 21, 2016****DEVELOPMENT NAME**

Steve Sheridan

LOCATION117 Batre Lane
(Northwest corner of Batre Lane and Gaillard Street)**CITY COUNCIL
DISTRICT**

District 7

PRESENT ZONING

R-1, Single-Family Residential District

AREA OF PROPERTY

9 Lots / 3.1 ± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow reduced front and sideyard setbacks in a proposed subdivision to include an 8 foot tall masonry wall to be added on property lines.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

**ENGINEERING
COMMENTS****ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:**

1. Any wall constructed shall not alter the natural drainage patterns for the subdivision. Runoff shall not be directed to the public ROW.
2. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
3. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
4. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

5. The detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for the construction shall include a Maintenance and Inspection Plan signed and notarized by the Owner(s).
6. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
7. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

The proposed 8' wall creates a line of sight issue with vehicles exiting Lola Lane (a private street) and the driveways adjacent to the wall as it concerns the sidewalk user. Drivers will be unable to see walkers/runners/bicyclists that could be utilizing the sidewalk. Although there is not sidewalk beyond this project at this time, this would become more of an issue in the future when sidewalks are constructed in this neighborhood and their use increases. Vehicle-to-vehicle line of sight should not be impacted as drivers should be able to pull beyond the wall and the sidewalk to see oncoming traffic. The proposed wall along the ROW radius at the intersection of Galliard Street and Batre Lane should not create a line of sight issue for vehicles to see other oncoming traffic. Lots 1, 7 and 9 are limited to one curb cut, and Lots 2-6 and 8 are limited to two curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code) Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC)

REMARKS

The applicant is requesting Planned Unit Development approval to amend a previously approved Planned Unit Development to allow reduced front and sideyard setbacks in a proposed subdivision to include an 8 foot tall masonry wall to be added on property lines.

The most recently approved Planned Unit Development (and accompanying Subdivision) for this site was before the Planning Commission at its November 6, 2014 meeting, where the approval was subject to the following conditions:

- 1) construction of the hammerhead for Fire apparatus access coinciding with the "pole" for Lot 7 prior to signing the Final Plat;

- 2) widening of the pavement of Gaillard Street to a minimum of 20' to allow for Fire apparatus access prior to signing the Final Plat;
- 3) placement of a note on the site plan stating that Lots 1, 7 and 9 are limited to one curb cut, and Lots 2-6 and 8 are limited to two curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) placement of a note on the site plan stating that Lot 6 is denied access to the alley along the West side of the site;
- 5) revision of the site plan to label all lots with their sizes in square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 6) retention of the approved reduced setbacks for all lots;
- 7) placement of a note on the site plan stating that no structures are to be constructed within any easements;
- 8) placement of a note on the site plan stating that the maintenance of the ingress and egress easements is the responsibility of the property owners;
- 9) placement of a note on the site plan stating that the ingress and egress easements are not to be gated or blocked in any manner so as to indicate a private street subdivision;
- 10) placement of a note on the site plan stating that the maintenance of the detention portion of the detention, drainage and utility easements is the responsibility of the property owners;
- 11) placement of a note on the site plan stating that all lots are limited to 40% maximum site coverage by all structures;
- 12) retention on the site plan of a city-standard sidewalk along Batre Lane and/or Gaillard Street;
- 13) subject to the Engineering comments: *(ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.)*
- 14) subject to the Traffic Engineering comments: *(The proposed 8' wall creates a line of sight issue with vehicles exiting Lola Lane (a private street) and the driveways adjacent to the wall as it concerns the sidewalk user. Drivers will be unable to see walkers/runners/bicyclists that could be utilizing the sidewalk. Although there is not sidewalk beyond this project at this time, this would become more of an issue in the future when sidewalks are constructed in this neighborhood and their use increases. Vehicle-to-vehicle line of site should not be impacted as drivers should be able to pull*

beyond the wall and the sidewalk to see oncoming traffic. The proposed wall along the ROW radius at the intersection of Galliard Street and Batre Lane should not create a line of sight issue for vehicles to see other oncoming traffic. Lots 1, 7 and 9 are limited to one curb cut, and Lots 2-6 and 8 are limited to two curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);

- 15) subject to the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)];*
- 16) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 17) placement of a note on the site plan stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 18) Site coverage increase to 40%, with appropriately designed and approved detention facilities;
- 19) placement of a note on the site plan stating that no solid wall or fence exceeding 3' in height shall be built within any setback from a street;
- 20) submission to Planning of two (2) copies of a revised site plan indicating compliance with all approval conditions prior to the signing of the Final Plat; and
- 21) full compliance with all municipal codes and ordinances.

The applicant now wishes to remove condition # 19 for the Planned Unit Development. Additionally, the applicant intends upon building 8 foot high masonry walls on interior lot lines within the development, and such is depicted on the site plan.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The applicant received a permit on August 6, 2014 to build and 8-foot high wooden privacy fence. It is not clear if the applicant for the permit indicated that the structure would be along the Batre Lane frontage, however, on December 4, 2015, Traffic Engineering staff notified Planning staff that a masonry wall was under construction on the Batre Lane property line. The applicant was notified that the PUD did not allow for the placement of a wall along the property line, hence the application at hand.

The condition regarding the wall/fence was added due to the fact that placement of such a structure within the front setback, where the structure will be over three feet in height, can cause

site visibility issues regarding vehicle/non-vehicle (pedestrian and bicycle) and vehicle/vehicle interactions. Traffic Engineering has noted that the wall will block visibility of the sidewalk, endangering sidewalk users.

Given the relative proximity of the site to adjacent public and private schools that serve elementary age children, accommodations should be made in the wall height to ensure visibility where proposed driveways intersect Batre Lane – specifically, the wall height should be limited to three (3) feet on either side of a driveway intersecting the Batre Lane right-of-way, for a distance of five (5) feet, with additional height modifications if determined necessary by Traffic Engineering. Additionally, the sidewalk along Batre Lane onto Gaillard Street should be constructed in conjunction with the construction of the wall, rather than as each lot is developed with a residence.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) placement of a note on the site plan stating that the wall height is limited to 3 feet where the wall will be within 5 feet of a driveway intersecting the right-of-way for Batre Lane, with additional height modifications if necessary, as determined by Traffic Engineering for sidewalk user safety;
- 2) construction of the sidewalk in conjunction with the wall along Batre Lane, and as the wall turns the corner onto Gaillard Street;
- 3) the wall otherwise is limited to a maximum height of 8 feet along Batre Lane and as the wall turns the corner onto Gaillard Street;
- 4) construction of the hammerhead for Fire apparatus access coinciding with the “pole” for Lot 7 prior to signing the Final Plat;
- 5) widening of the pavement of Gaillard Street to a minimum of 20’ to allow for Fire apparatus access prior to signing the Final Plat;
- 6) placement of a note on the site plan stating that Lots 1, 7 and 9 are limited to one curb cut, and Lots 2-6 and 8 are limited to two curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 7) placement of a note on the site plan stating that Lot 6 is denied access to the alley along the West side of the site;
- 8) revision of the site plan to label all lots with their sizes in square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 9) retention of the approved reduced setbacks for all lots;
- 10) placement of a note on the site plan stating that no structures are to be constructed within any easements;
- 11) placement of a note on the site plan stating that the maintenance of the ingress and egress easements is the responsibility of the property owners;
- 12) placement of a note on the site plan stating that the ingress and egress easements are not to be gated or blocked in any manner so as to indicate a private street subdivision;
- 13) placement of a note on the site plan stating that the maintenance of the detention portion of the detention, drainage and utility easements is the responsibility of the property owners;
- 14) placement of a note on the site plan stating that all lots are limited to 40% maximum site coverage by all structures;

- 15) retention on the site plan of a city-standard sidewalk along Batre Lane and/or Gaillard Street;
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- 23) full compliance with all municipal codes and ordinances.

LOCATOR MAP



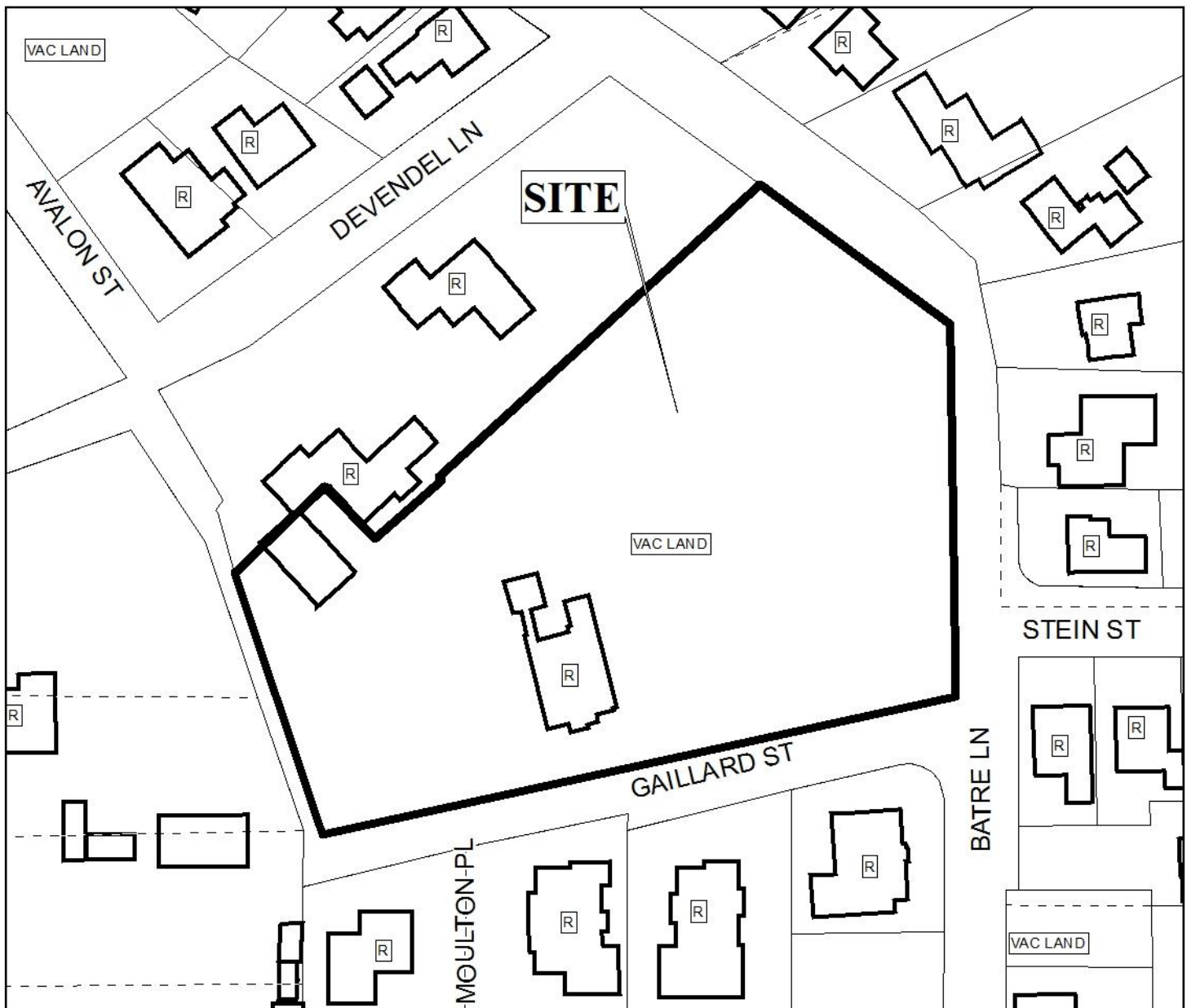
APPLICATION NUMBER 6 DATE January 21, 2016

APPLICANT Steve Sheridan

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential districts.

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REQUEST Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

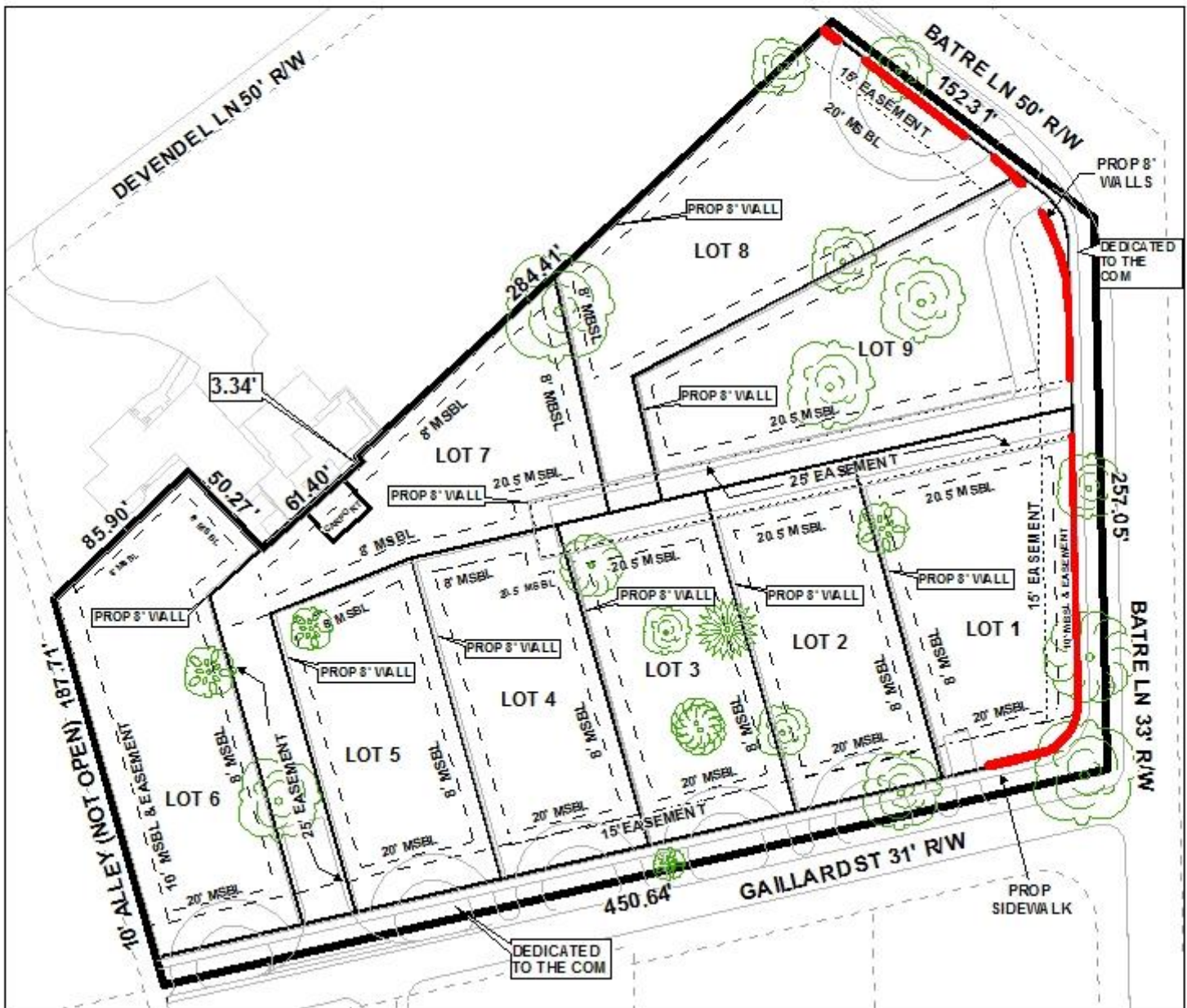


The site is surrounded by single family residential districts.

APPLICATION NUMBER 6 DATE January 21, 2016
 APPLICANT Steve Sheridan
 REQUEST Planned Unit Development



DETAIL SITE PLAN



The site plan illustrates the proposed lots, setbacks, easements, and proposed masonry walls.

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REQUEST Planned Unit Development

