

**PLANNED UNIT DEVELOPMENT &  
SUBDIVISION STAFF REPORT****Date: June 29, 2003**

<b><u>DEVELOPMENT NAME</u></b>	Forrest Cove Subdivision
<b><u>SUBDIVISION NAME</u></b>	Forrest Cove Subdivision
<b><u>LOCATION</u></b>	South side of Moffett Road at the South terminus of Northview Drive
<b><u>PRESENT ZONING</u></b>	R-1, Single-Family Residential
<b><u>AREA OF PROPERTY</u></b>	214 Lots/66.7± Acres
<b><u>CONTEMPLATED USE</u></b>	Reduced lot widths and reduced lot sizes in a single-family residential subdivision
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediate
<b><u>ENGINEERING COMMENTS</u></b>	Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<b><u>TRAFFIC ENGINEERING COMMENTS</u></b>	Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.
<b><u>REMARKS</u></b>	The applicant is requesting Planned Unit Development and Subdivision approvals to construct a 214-lot, single-family residential subdivision with reduced lots widths and lot sizes.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The site will retain its R-1 zoning and developed with detached, single-family residential homes. Exclusive of the streets, the overall site has adequate compensating open space

for 214 lots. Moreover, as outlined above, some lots will have reduced widths and area, thus a waiver of Section V.D.2. of the Subdivision Regulations would be required.

In terms of access and roads there are some concerns to address. First, the Vicinity Map indicates that Tulane Drive may extend eastward to the school site, and City Engineering and Planning Commission staff are researching the existence of actual right-of-way from a point approximately 150-feet East of Belle Woode Drive East, eastward. However, regardless of the existence of actual right-of-way, the "improvements" in this area are essentially a driveway standard, thus the road in this area (beginning approximately 150-feet East of Belle Woode Drive East eastward) must be improved to city standards. Furthermore, the provision of a cul de sac at the East end of Tulane Drive, should be required.

An additional consideration regarding access is that no more than 100 new lots should be developed with out providing a second point of access; i.e., the new street(s) connecting Moffett Road and Tulane Drive must be built prior to recording the 101<sup>st</sup> lot.

There are new lots proposed along Forest Dale Road, and Lots 210-214 will be located on a modified cul de sac. The design of the cul de sac should be coordinated with and approved by City Engineering, Traffic Engineering and Urban Development staff.

The site contains wetlands thus the area could be considered environmentally sensitive, therefore, the approval of all applicable federal, state and local agencies would be required.

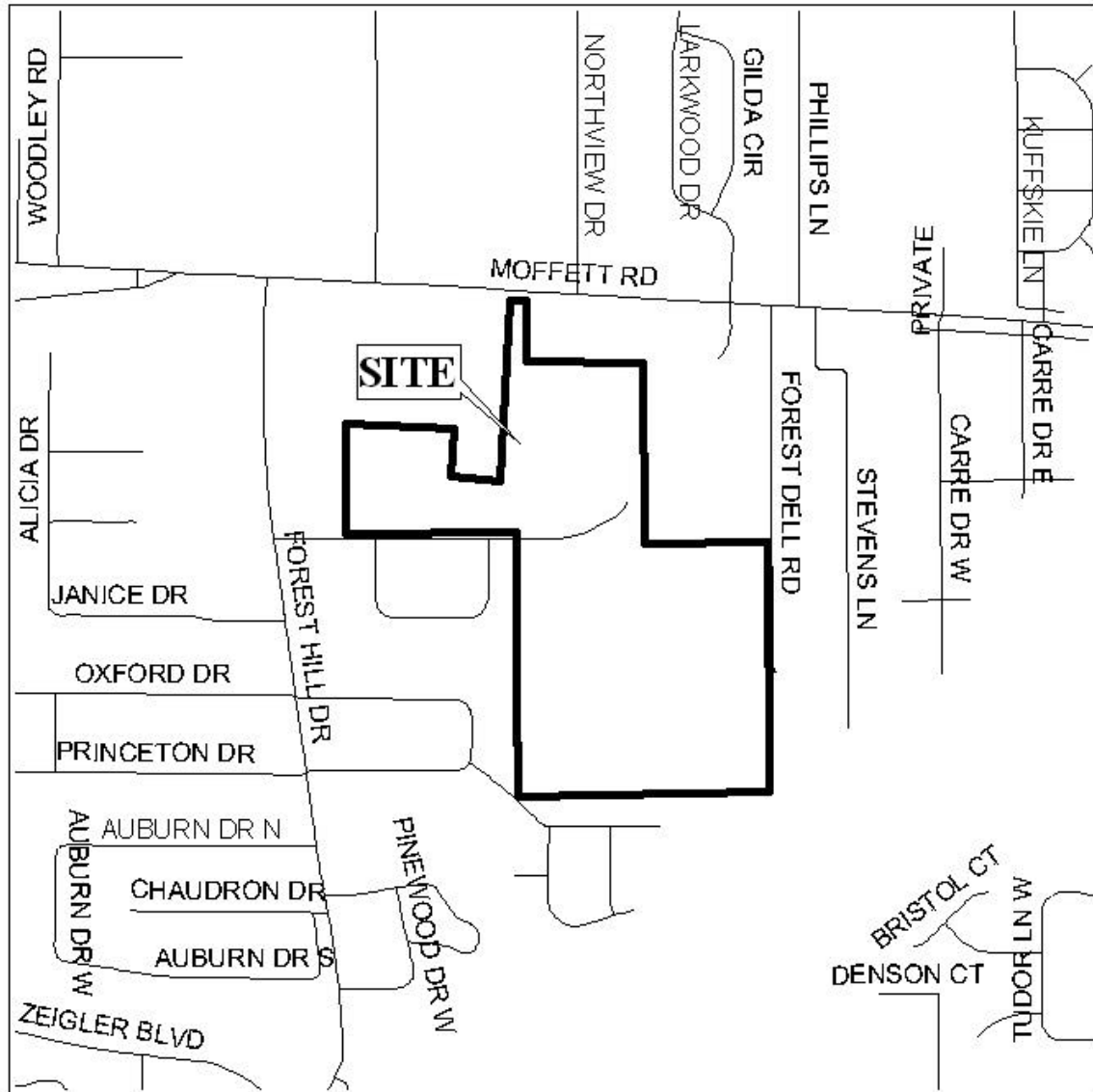
Regarding the common areas, a note should be placed on the final plat stating that the maintenance of the common areas shall be responsibility of the property owners.

### **RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) construction of Tulane Drive to city standards, beginning approximately 150-feet East of Belle Woode Drive East eastward; 2) that no more than 100 lots be recorded with out providing a second point of access (connection between Moffett Road and Tulane Drive); 3) the provision of a cul de sac at the East end of Tulane Drive; 4) that the modified cul de sac along Lots 210-214 be coordinated with and approved by City Engineering, Traffic Engineering and Urban Development staff; 5) the obtaining of all applicable federal, state and local approvals; and 6) full compliance with all municipal codes and ordinances.

**Subdivision:** With modifications, and a waiver of Section V.D.2., the plat will meet the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following conditions: 1) construction of Tulane Drive to city standards, beginning approximately 150-feet East of Belle Woode Drive East eastward; 2) that no more than 100 lots be recorded with out providing a second point of access (connection between Moffett Road and Tulane Drive); 3) the provision of a cul de sac at the East end of Tulane Drive; 4) that the modified cul de sac along Lots 210-214 be coordinated with and approved by City Engineering, Traffic Engineering and Urban Development staff; 5) the obtaining of all applicable federal, state and local approvals; and 6) placement of a note on the final plat stating that the maintenance of all common areas shall be the responsibility of the property owners.

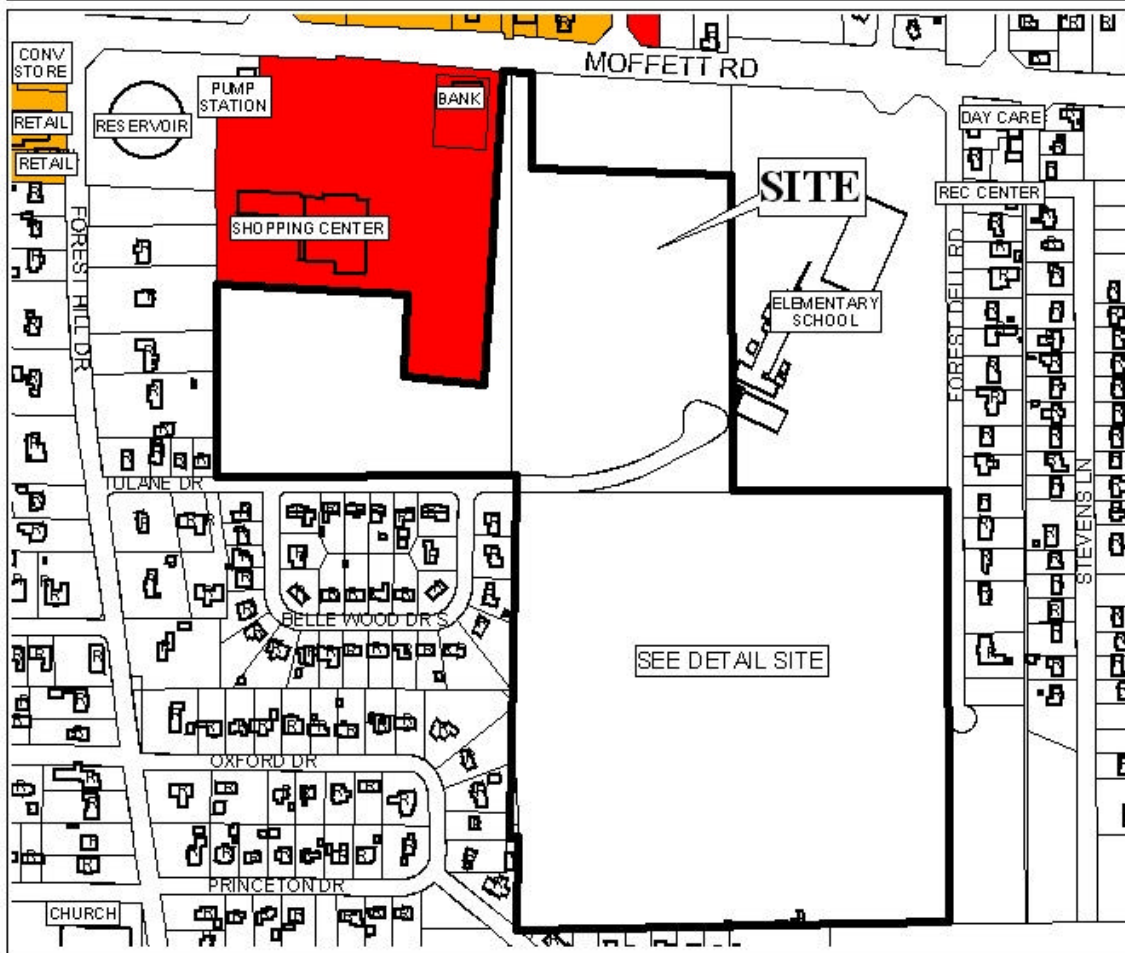
## LOCATOR MAP



APPLICATION NUMBER 3 & 4 DATE June 19, 2003  
APPLICANT Forrest Cove Subdivision  
REQUEST Planned Unit Development and Subdivision



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



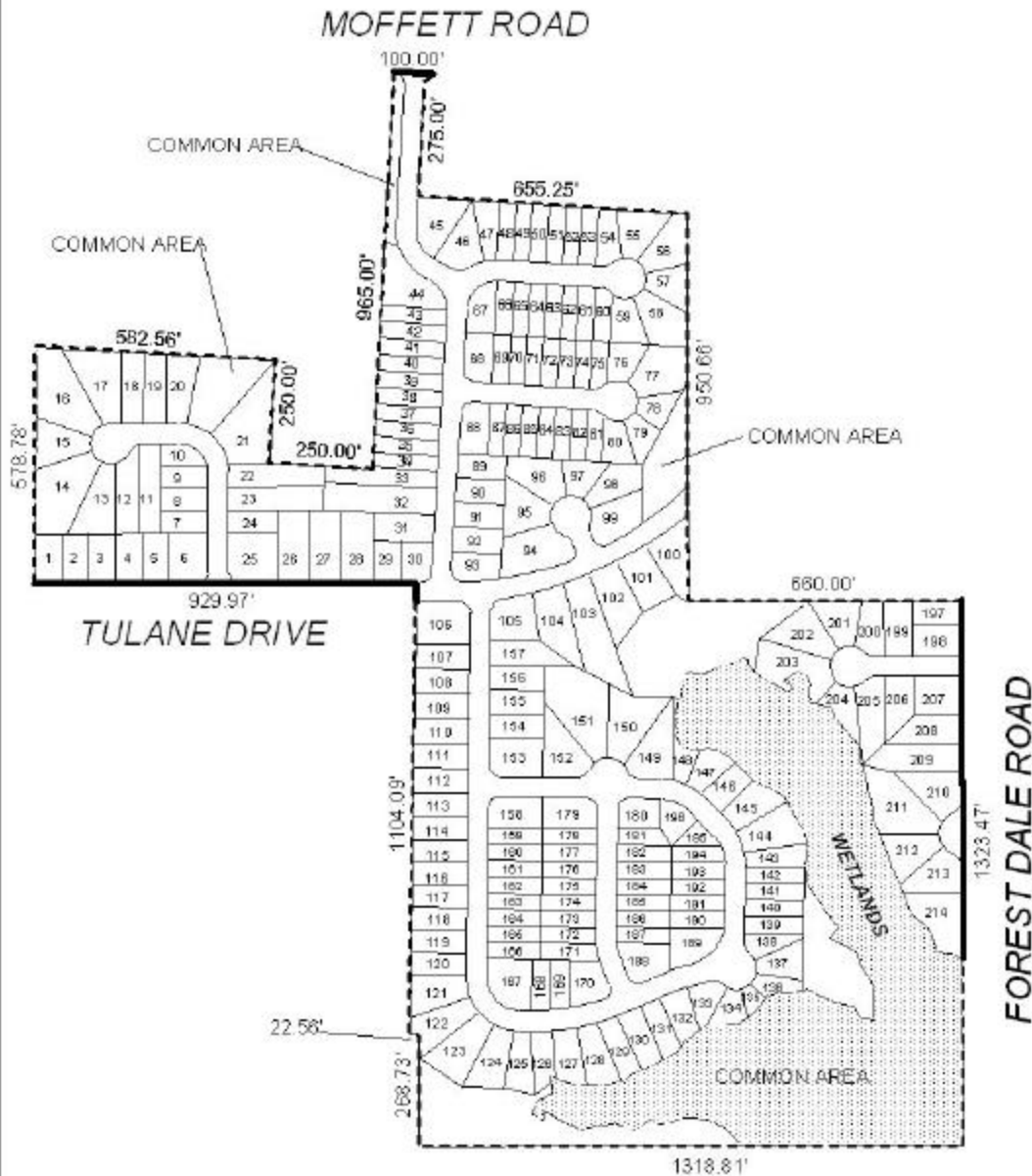
The site is located in an area of mixed land use.

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LEGEND



# DETAIL SITE PLAN



APPLICATION NUMBER 3 & 4 DATE June 19, 2003

APPLICANT Forrest Cove Subdivision

USE/REQUEST Planned Unit Development and Subdivision

