

VILLAGES OF DEER RIVER SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

2009 International Fire Code Appendix D Fire Apparatus Access Roads

Section D107 One- or Two-Family Residential Developments

D107.1 One- or two-family dwelling residential developments: *Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.*

MAWSS Comments: MAWSS has NO water and sewer services available.

The plat illustrates the proposed 13-lot, 7.9± acre subdivision which is located on the North side of Sunset Road, 2/10± mile West of Dauphin Island Parkway, and is located within the Planning Jurisdiction, but not within the Fire Jurisdiction. The applicant states that the subdivision is served by both public water and individual septic tanks.

The purpose of this application is to create 13 legal lots of record from one metes-and-bounds parcel and one legal lot of record.

The lot sizes are labeled in both square feet and acres, and the proposed lots would exceed the minimum 15,000 square foot size requirements of Section V.D.2. of the Subdivision Regulations. It should be noted that the square footage provided for proposed Lots 3 and 6 does not appear to be accurate. The correct lot sizes should be placed in square feet and acres on the Final Plat, if approved.

The 25' minimum setback line is not illustrated as required by Section V.D.9. of the Subdivision Regulations. The setback should be illustrated along all frontages on the Final Plat, if approved.

The site fronts onto Sunset Road, an unpaved minor street, and is illustrated as having a 40' right-of-way. Mobile County Public Works records show that the road has a prescriptive right-of-way (right of way is the width of maintained right of way). The preliminary plat illustrates a 10' deep strip labeled as "right-of-way to be dedicated". Minor streets with no curb and gutter

require a 60' right-of-way, and this dedication will provide 30' from the centerline of Sunset Road as required. This dedication should be retained on the Final Plat, if approved. A note should be placed on the Final Plat stating that no future subdivisions will be allowed until Sunset Road is brought up to Mobile County standards.

It should be noted that Sunset Road appears to be approximately 16 feet in width. As such, the creation of a 13-lot subdivision, 1,100 feet west by a narrow unpaved road from Dauphin Island Parkway, should not be encouraged at this time. If Sunset Road were to be paved in asphalt and, at minimum, meet the road requirements of Section VIII.E.2.c. of the Subdivision Regulations, then the proposed access concerns would be substantially reduced.

The preliminary plat illustrates a proposed new road, referred to as "Sunset Court". Sunset Court is illustrated as having a 50' right-of-way, with a cul-de-sac proposed to have a turnaround diameter of 120'. A 50' right-of-way is appropriate if Sunset Court will have curb and gutter, otherwise, a 60' right-of-way should be provided.

As a mean of access management, a note should be placed on the Final Plat stating that each lot is limited to one curb cut to the proposed Sunset Court, and denied direct access to Sunset Road, with the size, design, and location of the curb cuts, to be approved by Mobile County Engineering and conform to AASHTO standards.

There is a common area shown on the preliminary plat. If approved, a note should be placed on the Final Plat stating that the maintenance of all common areas and detention facilities is the responsibility of the property owners and not Mobile County.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits." should be placed on the Final Plat.

A portion of the site appears to contain floodplains and wetlands associated with a branch of Deer River. The potential presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies for wetland and floodplain issues will be required prior to the issuance of any permits or land disturbance activities. A note should be placed on the Final Plat stating this requirement.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

Based upon the preceding, the application is recommended for Denial for the following reason:

- 1) Sunset Road is a substandard, unpaved road, not meeting the minimum width or surfacing requirements of Section VIII.E.2.c. of the Subdivision Regulations, thus raising concerns regarding access to the proposed subdivision.

Revised for the November 20th meeting:

The application was heldover at the applicant's request. No additional information has been submitted.

Based upon the preceding, the application is recommended for Denial for the following reason:

- 1) *Sunset Road is a substandard, unpaved road, not meeting the minimum width or surfacing requirements of Section VIII.E.2.c. of the Subdivision Regulations, thus raising concerns regarding access to the proposed subdivision.*

Revised for the January 15th meeting:

The application was heldover at the applicant's request. The applicant submitted a revised preliminary plat illustrating a 5-lot subdivision, with each proposed lot having frontage on Sunset Road.

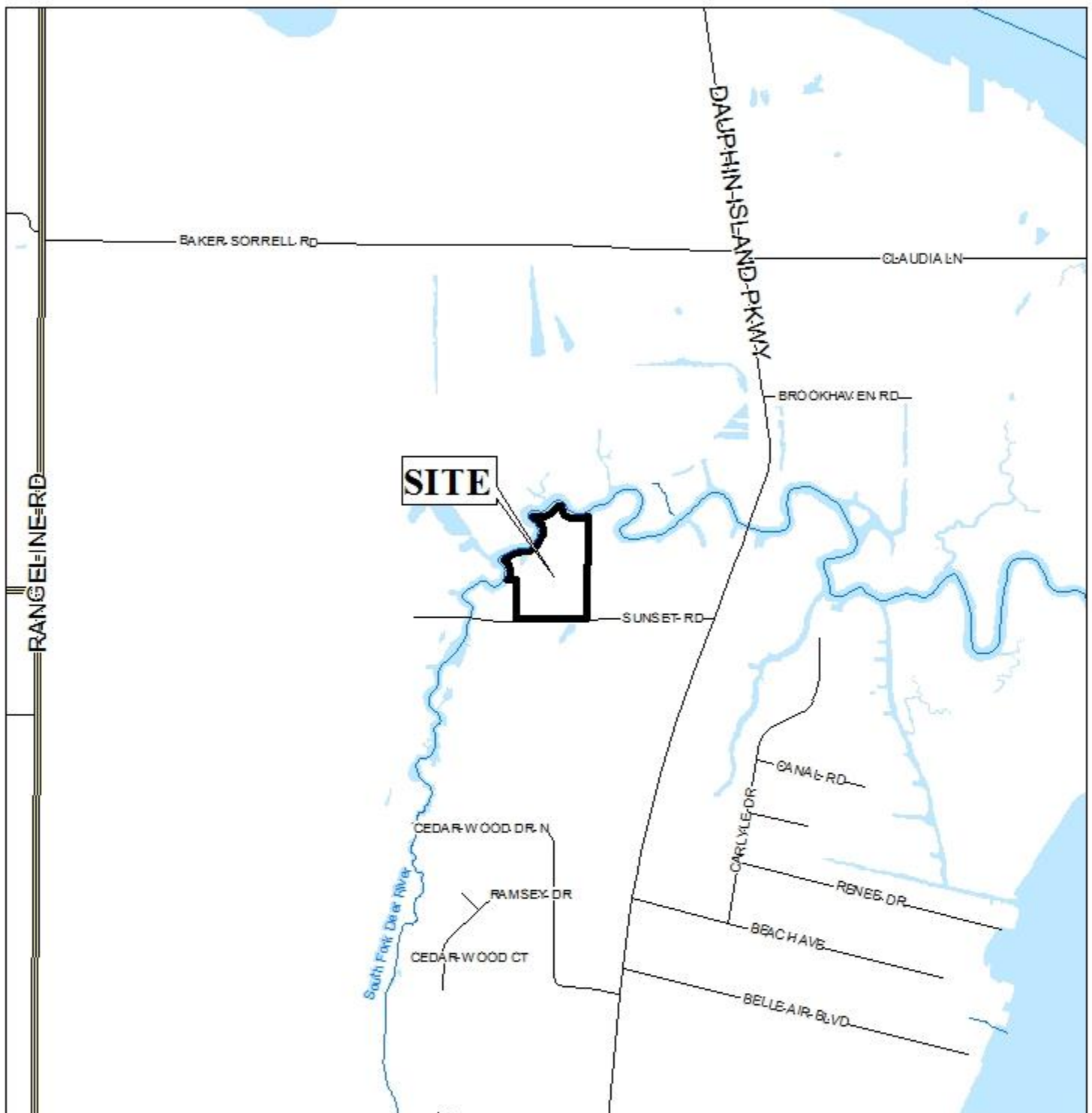
It should be noted that all of the proposed lots exceed the standards for width-to-depth ratio. Section V.D.3. of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback. As proposed, all lots are approximately 100' wide at the building setback, and range from 500' to 835' deep.

The 25' minimum setback line is not illustrated as required by Section V.D.9. of the Subdivision Regulations. The setback should be illustrated along all frontages on the Final Plat, if approved.

Based upon the preceding, the application is recommended for Denial for the following reasons:

- 1) *Sunset Road is a substandard, unpaved road, not meeting the minimum width or surfacing requirements of Section VIII.E.2.c. of the Subdivision Regulations, thus raising concerns regarding access to the proposed subdivision; and*
- 2) *all of the proposed lots exceed the width-to-depth ratio as stated in Section V.D.3. of the Subdivision Regulations.*

LOCATOR MAP



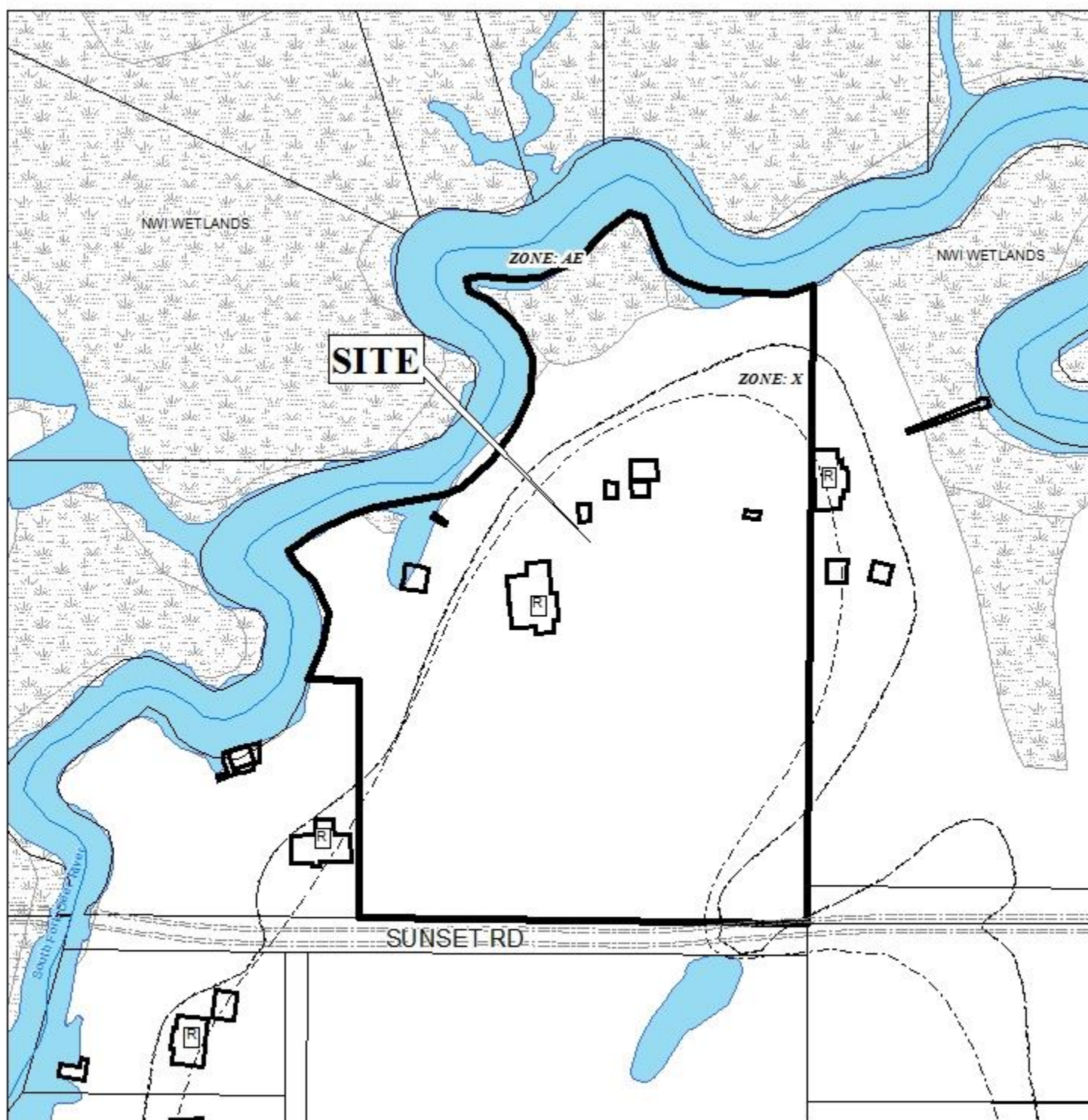
APPLICATION NUMBER 1 DATE January 15, 2015

APPLICANT Villages of Deer River Subdivision

REQUEST Subdivision



VILLAGES OF DEER RIVER SUBDIVISION



APPLICATION NUMBER 1

DATE January 15, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



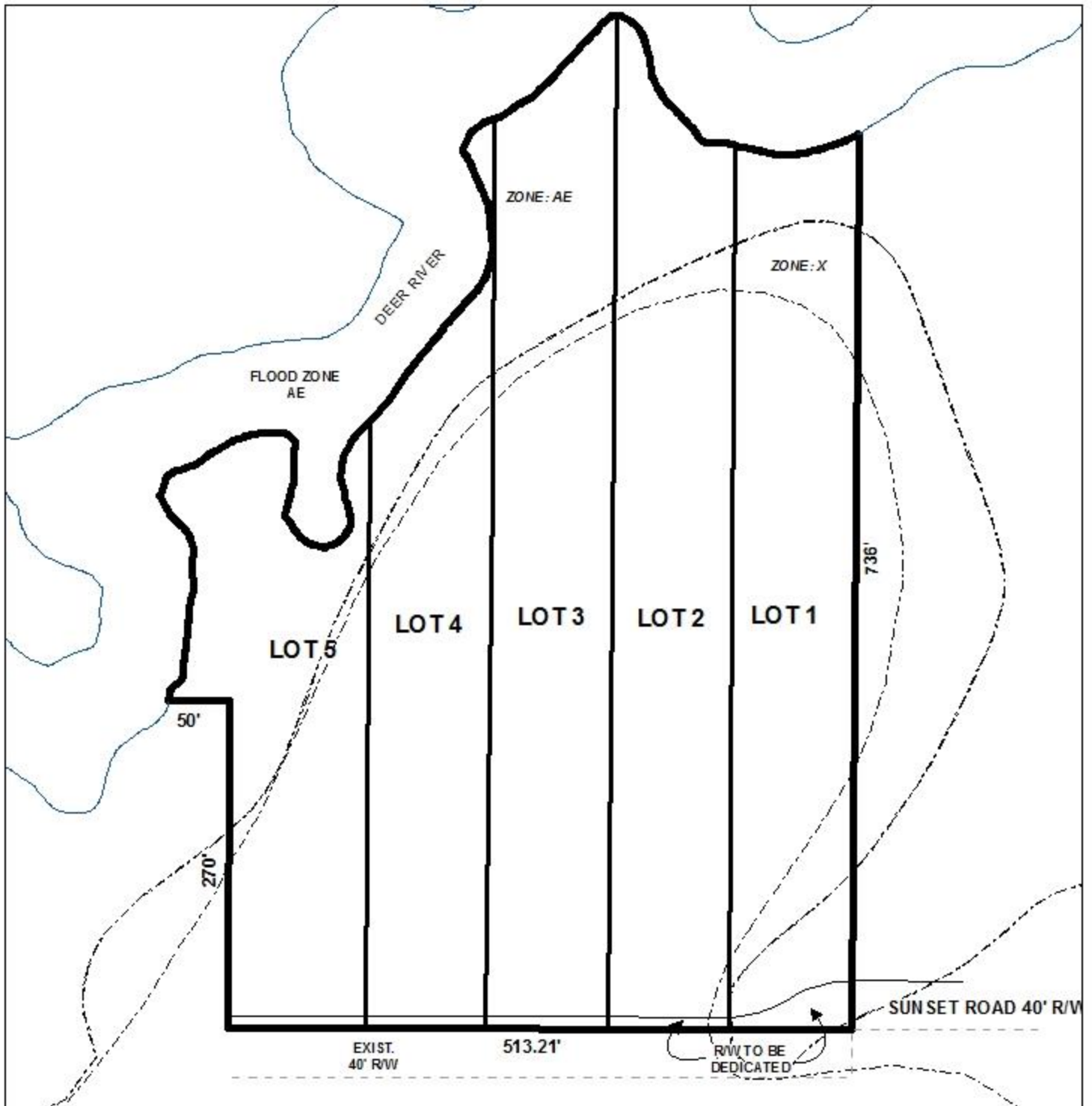
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APPLICATION NUMBER 1 DATE January 15, 2015



DETAIL SITE PLAN



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REQUEST Subdivision

