

PROVIDENCE PARK, P.O.B. WEST SUBDIVISION,
RESUBDIVISION OF LOT 1, RESUBDIVISION OF AND
ADDITION TO LOT 1

Engineering Comments: Need to analyze the receiving drainage system's ability to adequately handle the flow. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate. Fire hydrants shall be provided per Section 508.5.1 of the 2003 IFC.

The plat illustrates the proposed 11.6 acre \pm , 11 lot subdivision which is located on the Northeast corner of Cody Road South and Providence Park Drive South, extending to the West side of Providence Park Drive East (private street), 890' + South of Airport Boulevard, and is in Council District 6. The applicant states that the subdivision is served by both public water and sanitary sewer.

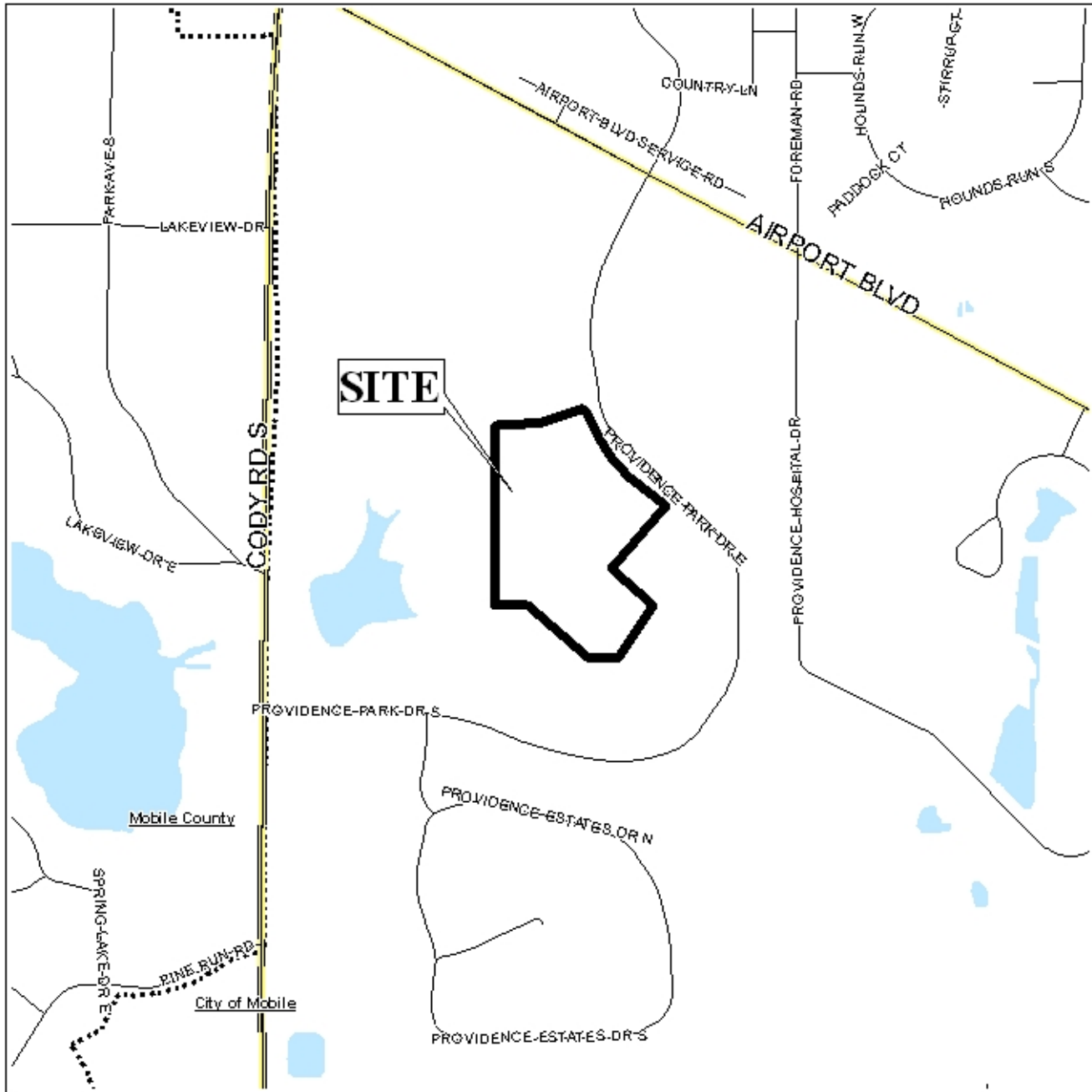
The purpose of this application is to subdivide one lot and a portion of a parcel into eleven (11) lots. The site fronts onto an existing private street and a proposed private street, and includes the construction of a private cul-de-sac. As the site, or at least a portion of it, is part of a Planned Unit Development (PUD), an application to amend the existing PUD should have been included.

The PUD should be considered in conjunction with the Subdivision application, however, the application deadline for the April 3rd meeting occurs prior to the March 6th Planning Commission meeting.

Based on the preceding, the application is recommended for Holdover until the April 3rd meeting so that the following can occur:

- 1) Submission of an application by March 17th to amend the existing Planned Unit Development, to allow the PUD to be considered at the April 17th meeting.

LOCATOR MAP

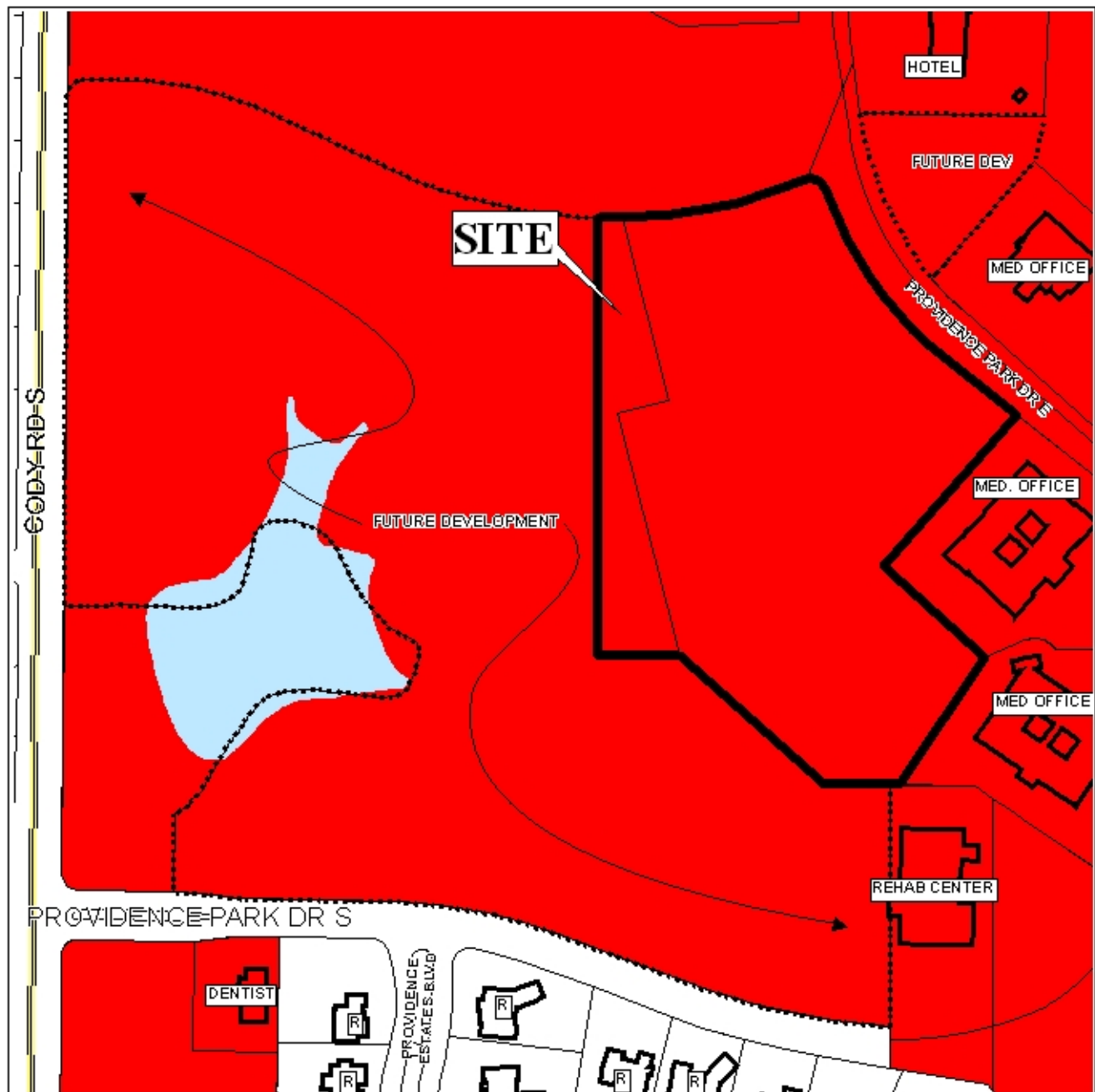


APPLICATION NUMBER 29 DATE March 6, 2008
APPLICANT Providence Park, P.O.B. West Subdivision, Resubdivision of
Lot 1, Resubdivision of and Addition to Lot 1
REQUEST Subdivision



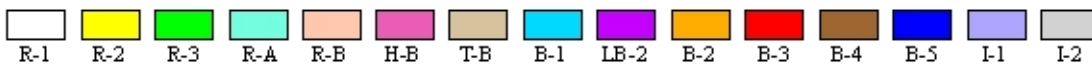
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LOT 1, RESUBDIVISION OF AND ADDITION TO LOT 1**



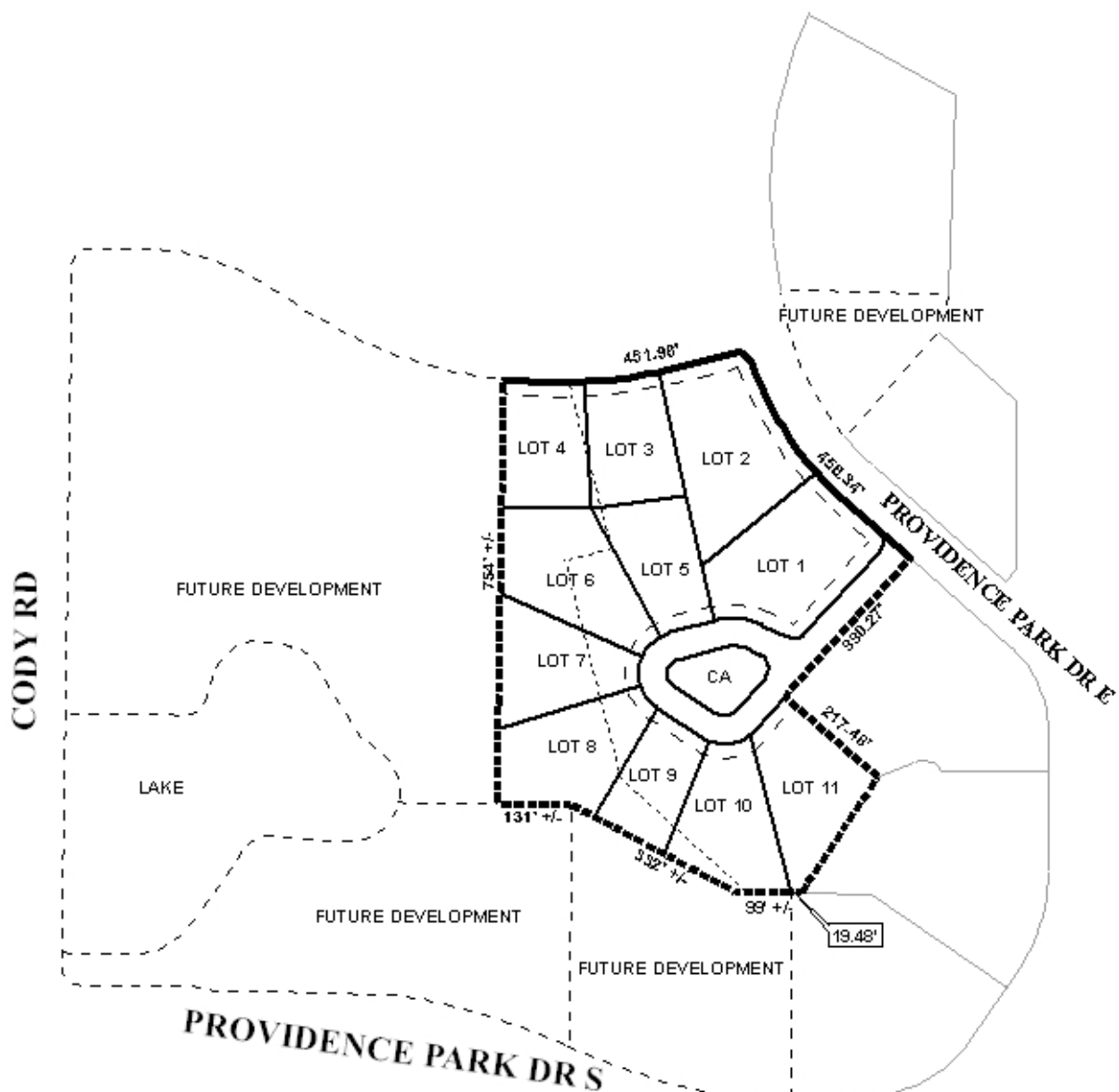
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LEGEND



NTS

DETAIL SITE PLAN



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