

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: October 3, 2013****DEVELOPMENT NAME**

D & M Properties, LLC

LOCATION5721 U.S. Highway 90 West
(East side of U.S. Highway 90 West, 330'± South of
Plantation Road).**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONINGB-3, Community Business District
I-2, Heavy Industrial District**AREA OF PROPERTY**

12± Acres

CONTEMPLATED USEPlanned Unit Development Approval to amend a
previously approved Planned Unit Development to allow
multiple buildings on a single building site.**TIME SCHEDULE
FOR DEVELOPMENT**

None Provided

**ENGINEERING
COMMENTS**

Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). The applicant must also contact ALDOT – Ninth Division to see if any ALDOT Permit s are required for this proposed project. Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. A complete set of construction plans for the site work – including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. Must comply with all Engineering Department Policy Letters: 5-13-2009 Policy Letter(Car wash drains and dumpster pads to drain to Sanitary Sewer System), 8-4-2004 Policy Letter (Video inspection of new Storm Sewer System Piping), and 3-18-2004 Policy Letter (Additional subdivision street requirements).

TRAFFIC ENGINEERING**COMMENTS**

US Highway 90 Service Road is an ALDOT roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site.

The business located on Lot B is proposing the addition of a new 26,000 square foot building for casting and curing concrete pipe, and removing an 804 square foot portion of an existing structure to allow the placement of a new 20' wide paved fire access road. The site was the subject of a previously approved Planned Unit Development due to shared access with an adjacent site. The subject site previously received Subdivision, Planned Unit Development, and Rezoning approval at the December 6, 2012 meeting of the Planning Commission.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It should be noted that a portion of the proposed new structure is located within a 15' drainage easement. A note on the site plan states that the easement is to be vacated; therefore, before any permits can be issued for the construction of this structure, documentation must be present to the Urban Development staff that the easement has been successfully vacated.

The previously approved Planned Unit Development requires a 10' protection buffer from all adjacent R-1, Single-Family Residential properties as well as a 6' high privacy fence. The currently proposed site plan illustrates compliance with both of these conditions.

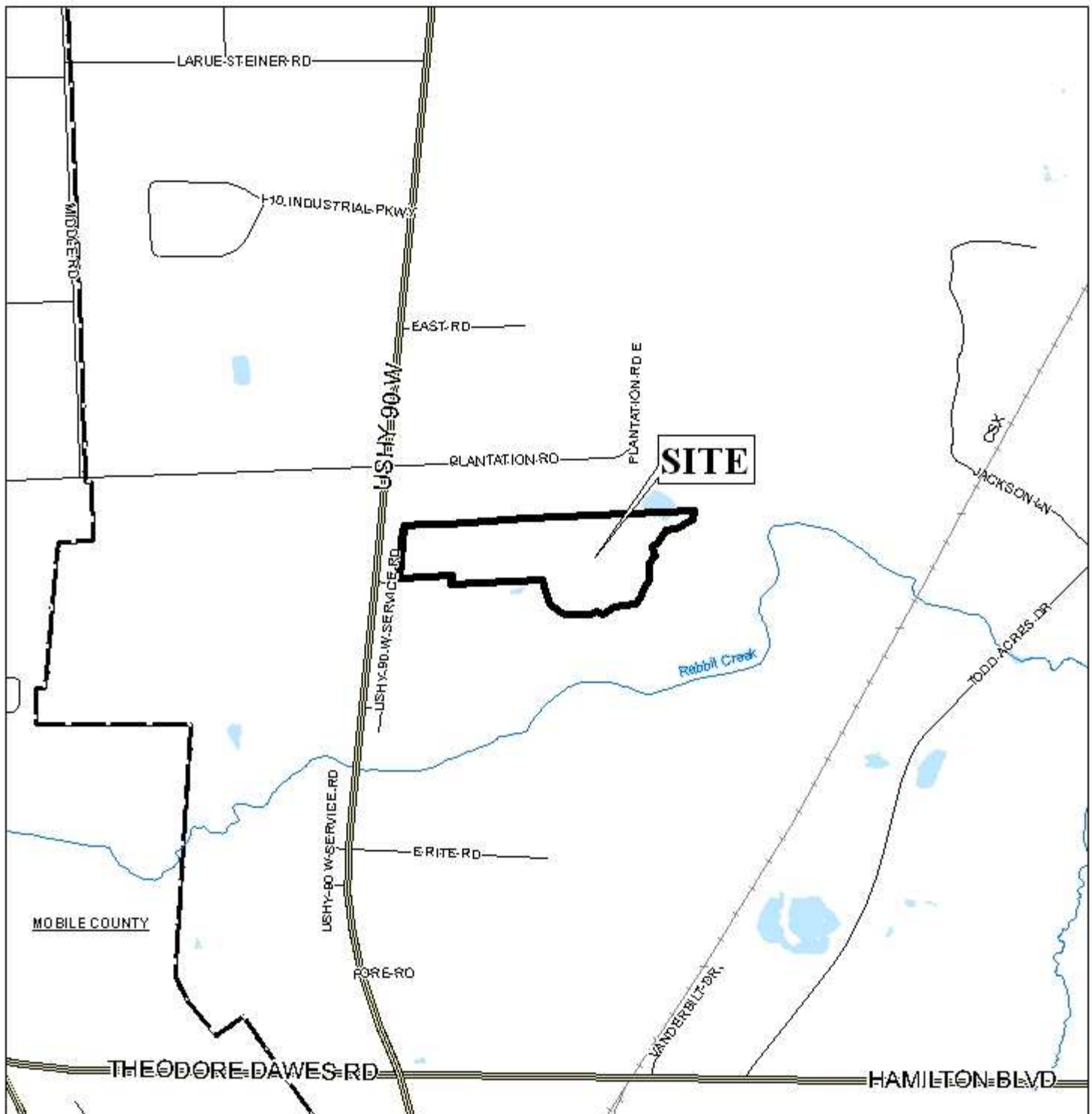
The site plan provides landscaping information and illustrates tree plantings that comply with the previously approved Planned Unit Development requirements.

The previously approved site plan contained a note stating that curbside trash pickup will be utilized for each lot as appropriate, however no such note is on the currently proposed site plan. The site plan should be revised to either state that curbside trash will be utilized, or to illustrate a dumpster with an enclosure compliant with Section 64- 4.D.9. of the Zoning Ordinance.

RECOMMENDATION **Planned Unit Development:** Based upon the preceding, this application is recommended for Approval, subject to the following:

- 1) successful vacation of the 15' drainage easement.

LOCATOR MAP



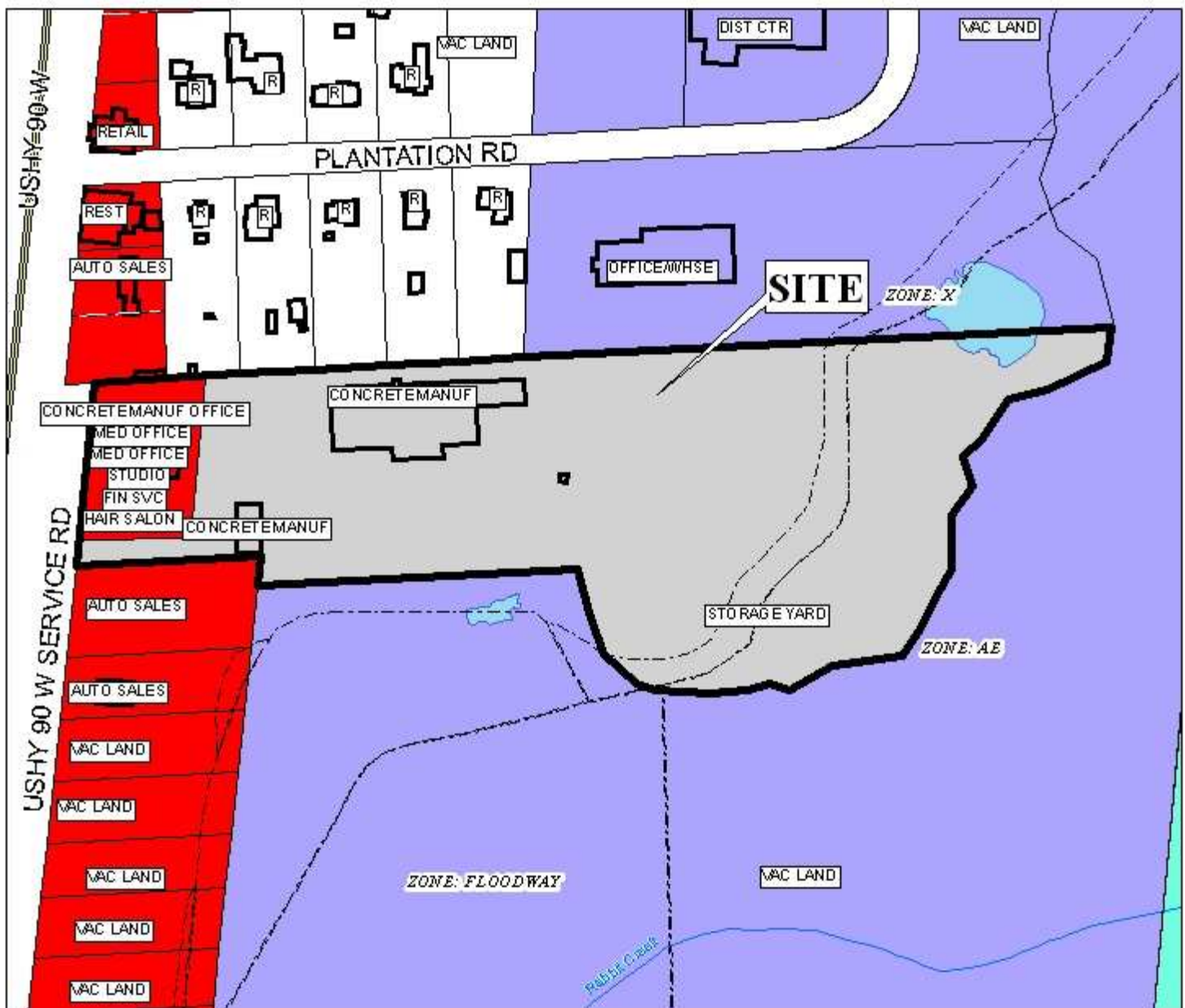
APPLICATION NUMBER 29 DATE October 3, 2013

APPLICANT D & M Properties, LLC

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residences and businesses are located to the north of the site.
Undeveloped land and an auto sales business are located to the south of the site.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5
											I-1	I-2

N
NTS

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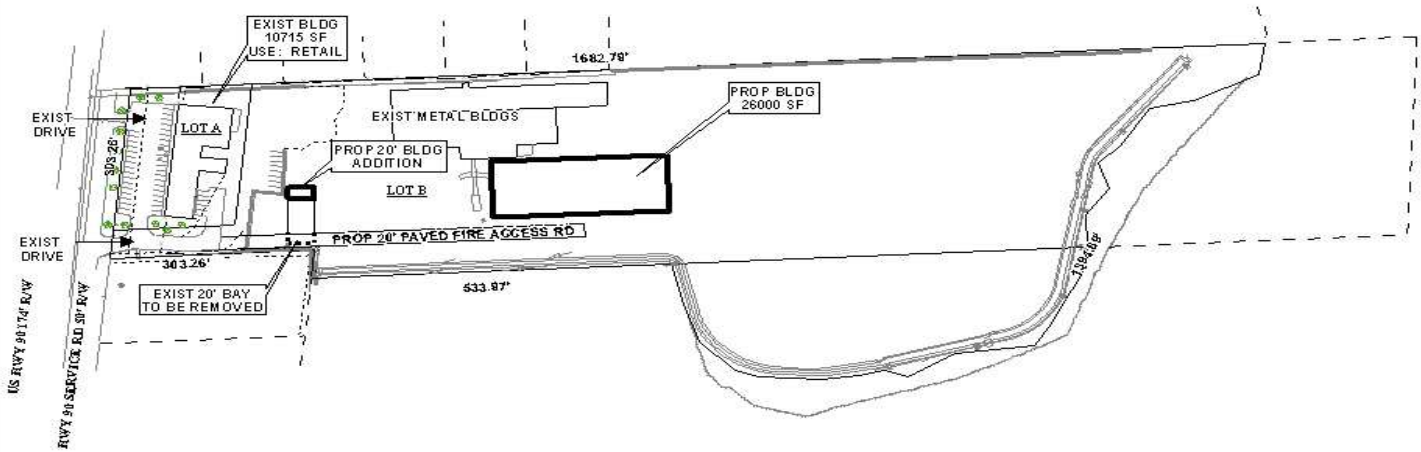
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SITE PLAN



The site plan illustrates the proposed building, fire access road, and building addition.

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