

**PLANNED UNIT DEVELOPMENT
& PLANNING APPROVAL STAFF REPORT** **Date: September 18, 2008**

<u>DEVELOPMENT NAME</u>	Community Worship Ministries
<u>LOCATION</u>	1251 Navco Road (East side of Navco Road, 275'± South of Buena Drive North)
<u>CITY COUNCIL DISTRICT</u>	Council District 4
<u>PRESENT ZONING DISTRICT</u>	R-1, Single-Family Residential
<u>AREA OF PROPERTY</u>	2.98± acres
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to allow two buildings on a single building site, and Planning Approval to allow the expansion of an existing church in an R-1, Single-Family Residential District, to include a new sanctuary and parking lot expansion.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans. Driveways are shown as thirty feet. Narrow existing drives to the standard twenty-four feet.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow two buildings on a single building site, and Planning Approval to allow the expansion of an existing church in an R-1, Single-Family Residential District, to include a new sanctuary and parking lot expansion. The site is located in Council District 4.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district. Planning Approval is site plan and use specific, thus any future changes to the site or operation of the facilities will require additional Planning Approval.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. Planned Unit Development Approval is site plan and use specific, thus any future changes to the site or operation of the facilities will require additional Planned Unit Development Approval.

This site received Planning Approval for the existing church in 2004. The applicant now wishes to construct a new sanctuary and parking lot and use the existing structure as a classroom facility. A new Planning Approval application is required to amend the previous approval, along with a Planned Unit Development application for multiple buildings on a single building site.

The site plan illustrates the proposed 500 seat sanctuary (12,000 square feet) with 135 parking spaces (only 125 required), compliant with the parking requirements. The site plan also appears to be in compliance with the tree/landscaping requirements of the Zoning Ordinance, though a full review will be required at the time of permitting.

The site is completely surrounded by residentially zoned properties; thus, a buffer, in compliance with Section 64-4. of the Zoning Ordinance is required around the boundary of the site. Furthermore, as required by Section 64-6.A.3.c. of the Zoning Ordinance, any lighting for the parking lot shall be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic.

There is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. The location of the storage area for the dumpster must be illustrated on the site

plan and labeled, and the location and required screening must comply with Section 64-4.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

The proposed site plan does not illustrate a sidewalk along Navco Road. However, at its meeting on July 7, 2005, the Planning Commission approved a request for a sidewalk waiver at this site; thus, one will not be required at this time.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for approval, subject to the following conditions:

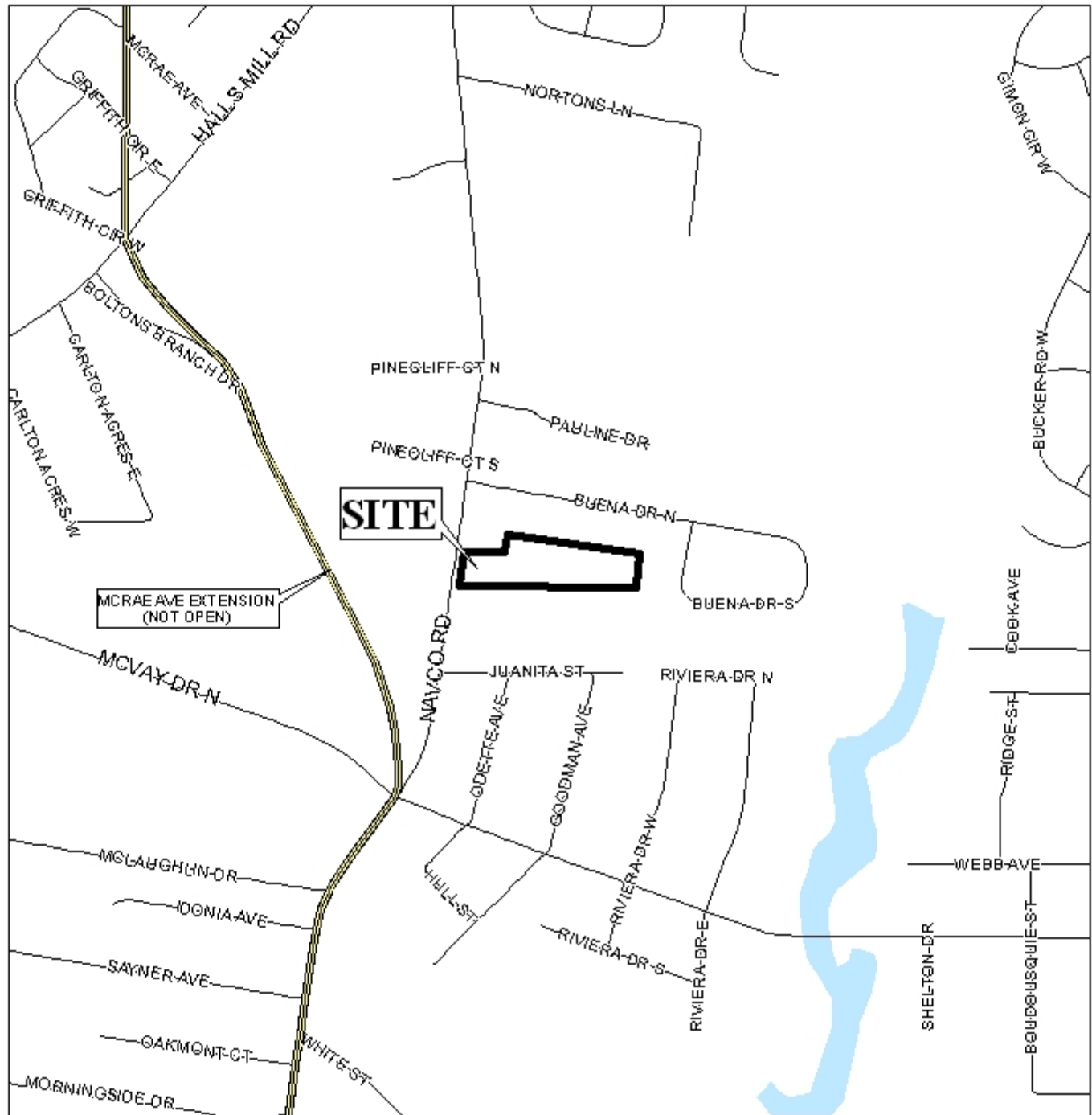
- 1) Provision of buffering, in compliance with Section 64-4. of the Zoning Ordinance, from residentially zoned properties adjacent to the site;
- 2) Placement of a note on the site plan stating that any lighting for the parking lot will be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic, as required by Section 64-6.A.3.c. of the Zoning Ordinance;
- 3) Provision of a dumpster, properly located and screened from view in compliance with Section 64-4.D.9. of the Zoning Ordinance, or the provision of a note on the site plan stating that none will be provided;
- 4) Placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 5) Reduction of the curb cut width (on Navco Road) to the standard 24' width, as required by Traffic Engineering; and
- 6) Submission of a revised site plan to the Planning Department of Mobile Urban Development prior to the issuance of any permits or land disturbance activities.

Planning Approval: Based on the preceding, this application is recommended for approval, subject to the following conditions:

- 1) Provision of buffering, in compliance with Section 64-4. of the Zoning Ordinance, from residentially zoned properties adjacent to the site;
- 2) Placement of a note on the site plan stating that any lighting for the parking lot will be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic, as required by Section 64-6.A.3.c. of the Zoning Ordinance;
- 3) Provision of a dumpster, properly located and screened from view in compliance with Section 64-4.D.9. of the Zoning Ordinance, or the provision of a note on the site plan stating that none will be provided;
- 4) Reduction of the curb cut width (on Navco Road) to the standard 24' width, as required by Traffic Engineering;

- 5) Placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities; and
- 6) Submission of a revised site plan to the Planning Department of Mobile Urban Development prior to the issuance of any permits or land disturbance activities.

LOCATOR MAP



APPLICATION NUMBER 29 & 30 DATE September 18, 2008

APPLICANT Community Worship Ministries

REQUEST Planned Unit Development, Planning Approval

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by residential land use
with a church on site and a assisted living facility to the southwest.

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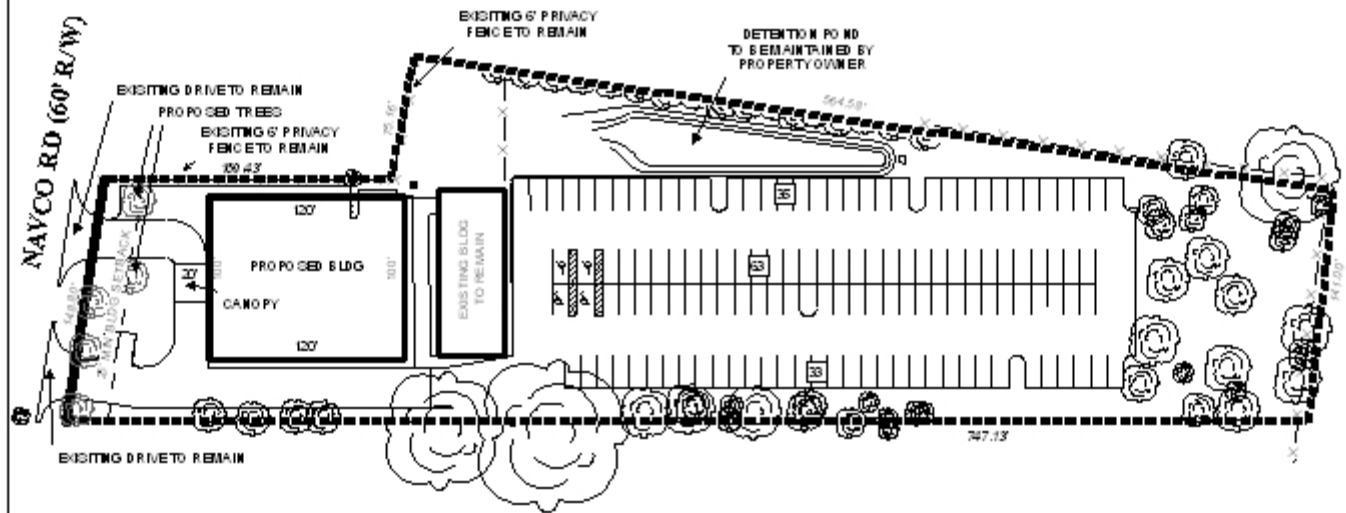
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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SITE PLAN



This site plan illustrates existing and proposed buildings with proposed parking lot.

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