

ABBA TEMPLE SUBDIVISION

City and County Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

MAWSS Comments: No comments

The plat illustrates the proposed 39.3± Acre, 4-Lot subdivision which is located on the Southeast corner of Schillinger Road and Hitt Road and is located within the planning jurisdiction. The site is served by public water and sanitary facilities.

The purpose of this application is to create four legal lots of record from a metes and bounds parcel.

The site fronts Schillinger Road, a major street as illustrated on the Major Street Plan, which is illustrated on the preliminary plat as having 80-foot right-of-way; therefore, the dedication of right-of-way sufficient to provide 50-feet as measured from the centerline of Schillinger Road, should be required and Hitt Road, a minor street, which is illustrated on the preliminary plat with 60-foot right-of-way, is in compliance with the Subdivision Regulations.

The plat should be revised to dedicate sufficient radius at the intersection of Schillinger Road and Hitt Road, with the size and design to be approved by County Engineering and conform to AASHTO standards.

As illustrated on the preliminary plat the proposed subdivision would provide Lot 3 approximately 1098-feet± frontage on Hitt Road and approximately 125-feet± along Schillinger Road. Access management is a concern, as to the majority of the road frontage along Schillinger Road would provide access for Lots 1, 2 & 4. Therefore, Lot 1 should be limited to one curb cut to Hitt Road, to be located near the East property line and one curb cut to Schillinger Road located on the South property line and shared with Lot 2. Lot 2 should be limited to the shared curb cut with Lot 1 and one curb cut approximately 75-feet North of the South property line. Lot 3 should be limited to Hitt Road (existing) and one curb cut to Schillinger Road, located in the middle of the Schillinger frontage; and Lot 4 should be limited to two curb cuts to Schillinger Road, one located 75-feet South of the North property line and the other is the existing curb cut. All curb cuts to Hitt Road require Traffic Engineering approval and all curb cuts to Schillinger require County Engineering approval, with all curb cuts to conform to AASHTO standards.

While the site is located in the county, compliance with the City of Mobile stormwater and flood control ordinances will be required. A letter from a licensed engineer certifying compliance with the City's stormwater and flood control ordinances should be submitted to the Mobile County

Engineering Department and the Planning Section of Urban Development prior to the issuance of permits.

The site may contain federally listed endangered or threatened species, such as the gopher tortoise, or protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected flora and fauna.

This site is located in Mobile County, thus a note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

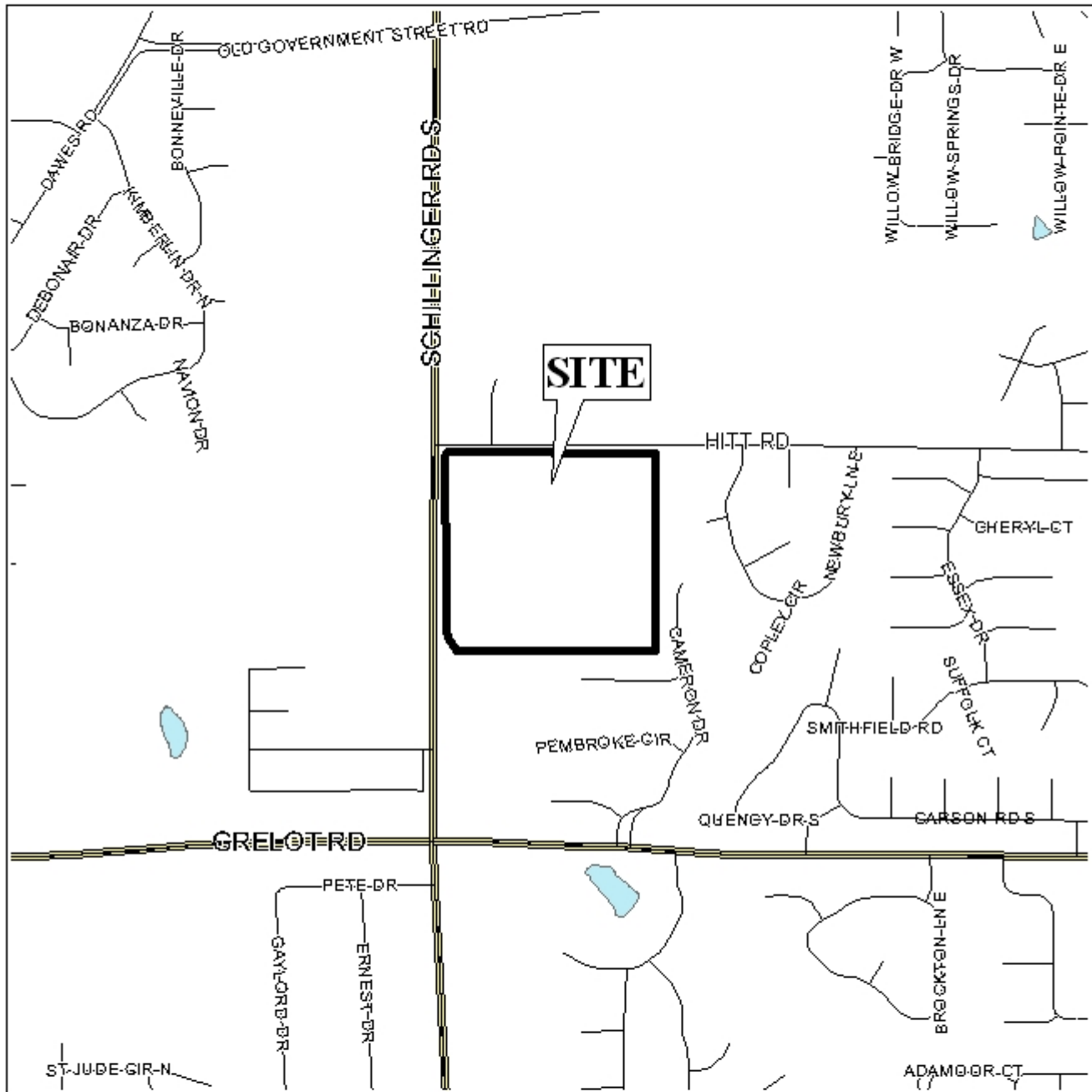
The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the entire subdivision, but would be required on the Final Plat, if approved.

Based on the preceding, the plat meets the requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide 50-feet from the centerline of Schillinger Road;
- 2) the placement of a note on the Final Plat stating that Lot 1 is limited to one curb-cut to Hitt Road, to be located near the East property line and one curb cut to Schillinger Road located on the South property line and shared by Lot 2;
- 3) the placement of a note on the Final Plat stating that Lot 2 is limited to the shared curb cut with Lot 1 and one curb-cut approximately 75-feet North of the South property line;
- 4) the placement of a note on the Final Plat stating that Lot 3 is limited to one curb cut to Hitt Road (existing) and one curb cut to Schillinger Road, located in the middle of the Schillinger Road frontage;
- 5) the placement of a note on the Final Plat stating that Lot 4 is limited to two curb-cuts to Schillinger Road, one located approximately 75-feet South of the North property line and the other is the existing curb cut;
- 6) the placement of a note on the Final Plat stating that all curb cuts to Hitt Road require Traffic Engineering approval and conform to AASHTO standards and all curb cuts to Schillinger Road require County Engineering approval and conform to AASHTO standards;
- 7) certification via placement of a note on the plat stating that the property owner/developer will comply with all local, state and federal regulations regarding endangered, threatened or otherwise protected flora and fauna;
- 8) the placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of a letter from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the signing of the final plat. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;

- 9) revision of the plat to label the lot with its size in square feet, or placement of a table on the plat with the same information;
- 10) the placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations; and
- 11) the depiction of the 25-foot minimum building setback line on the entire subdivision on the Final Plat.

LOCATOR MAP



APPLICATION NUMBER 28 DATE January 3, 2008

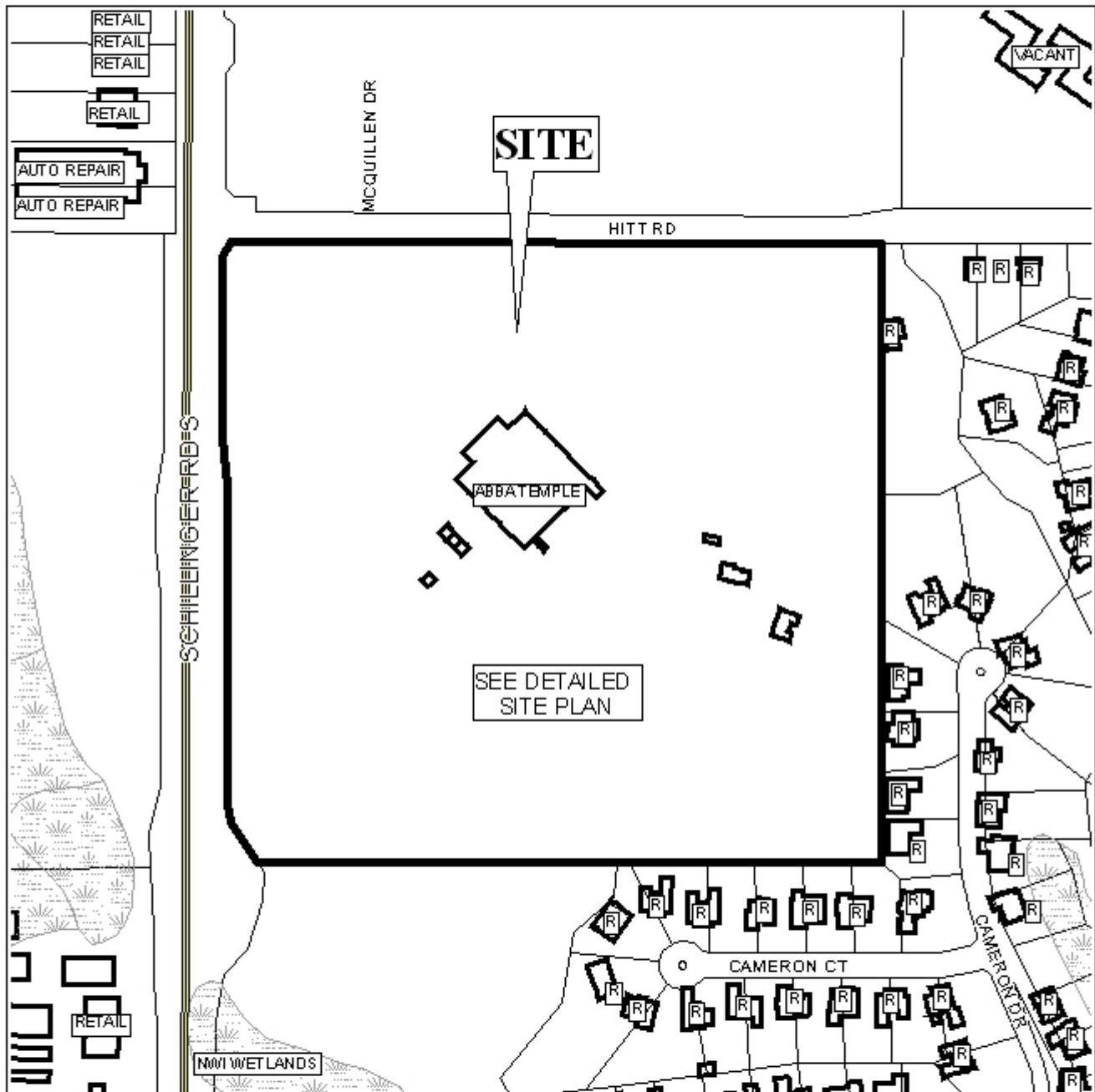
APPLICANT Abba Temple Subdivision

REQUEST Subdivision



NTS

ABBA TEMPLE SUBDIVISION



APPLICATION NUMBER 28 DATE January 3, 2008

LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS

ABBA TEMPLE SUBDIVISION

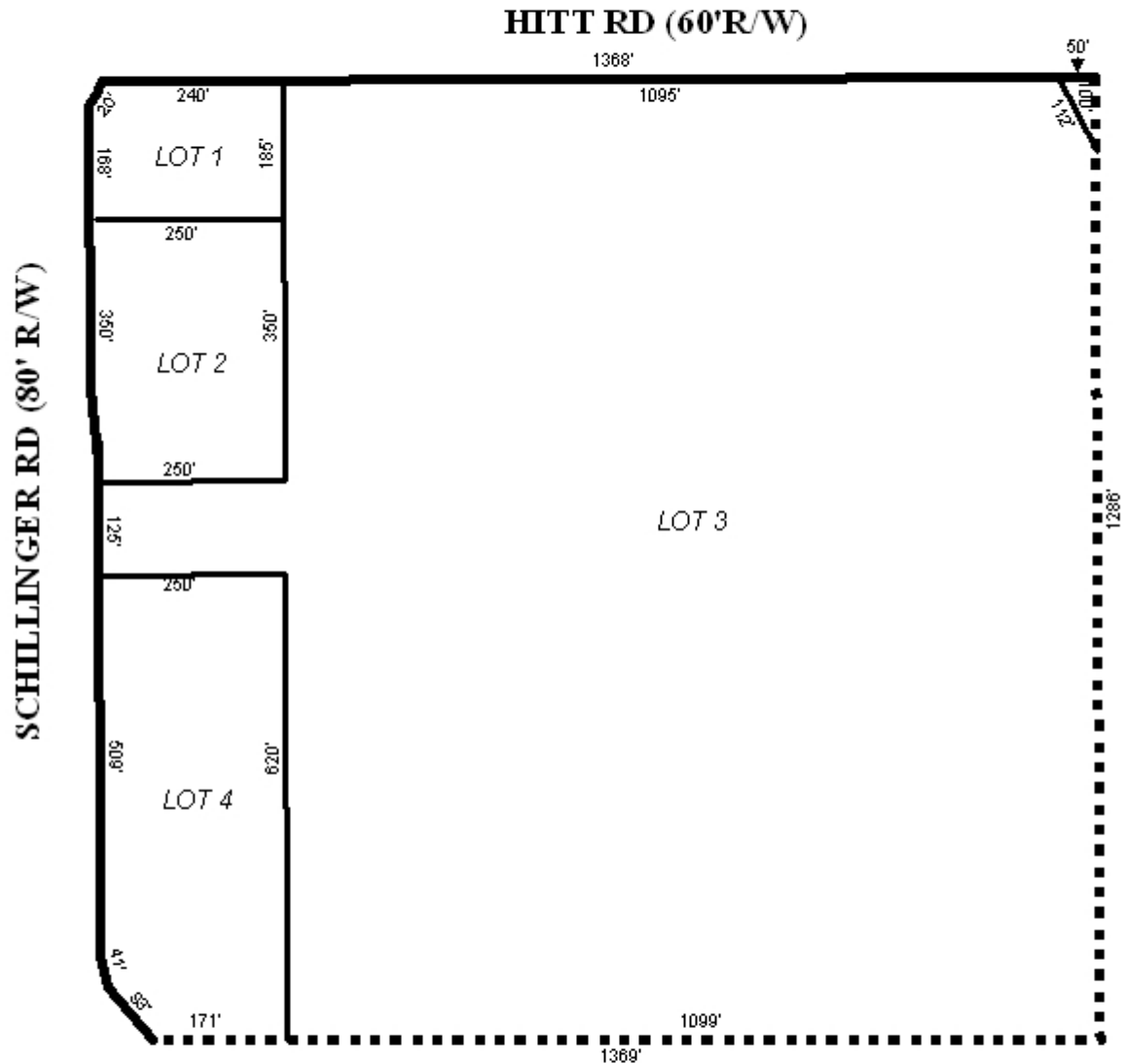


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DETAIL SITE PLAN



APPLICATION NUMBER 28 DATE January 3, 2008
APPLICANT Abba Temple Subdivision
REQUEST Subdivision

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