

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: October 4, 2012****DEVELOPMENT NAME**

Taylor Place Subdivision, Resubdivision of Lot 4

SUBDIVISION NAME

Taylor Place Subdivision, Resubdivision of Lot 4

LOCATION4 Taylor Place
(Northwest corner of Old Shell Road and Oakland Avenue,
extending to the East terminus of Taylor Place)**CITY COUNCIL
DISTRICT**

District 7

AREA OF PROPERTY

1 Lot / 0.9± Acre

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to reduce the minimum building setback line and a drainage easement, and Subdivision approval to amend the recorded building setback line and remove a portion of a drainage easement on a previously approved subdivision lot.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediately.

**ENGINEERING
COMMENTS**

Subdivision The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat.

Planned Unit Development 1. The drainage easement is currently being reviewed through the City's easement vacation process. The Subdivision (Taylor Place) currently utilizes a portion of the underground drainage pipe on Lot 4 for detention, and the applicant is proposing to install additional underground pipes within the remaining drainage easement to provide the required storage volume for the Subdivision detention. The Engineering Dept will coordinate the vacation process with the installation of the additional underground pipe(s) through the Land Disturbance permitting process. 2. Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to reduce the minimum building setback line and vacate a drainage and utility easement along a side street, and Subdivision approval for the same amendments to the recorded plat of one lot within a subdivision. The site is located in Council District 7, and according to the applicant is served by public water and sanitary sewer.

The site is Lot 4, Taylor Place Subdivision, which is a private street subdivision and PUD, both of which were approved by the Commission in 1991. The subdivision was recorded with a 25' minimum building setback line along Old Shell Road which also includes a 25' drainage and utility easement. The applicant proposes to expand the existing residence on the lot and make drainage modifications within the existing drainage and utility easement. Due to a previous owner building within the 25' minimum building setback line along Old Shell Road, the applicant wishes to amend such to a 20' setback with further modifications around an encroaching landing and stairway and a brick planter. Also, since the originally-approved PUD indicated building limits that have since been encroached into, the proposed amended PUD would serve to correct such encroachments.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the

minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The 25' minimum building setback line and the 25' drainage and utility easement along Old Shell Road were both recorded on the plat for Taylor Place Subdivision. Only the 25' minimum building setback line was indicated on the original PUD. The applicant proposes to amend the setback line for its entire length on the lot along Old Shell Road and vacate a little more than the Eastern half of the easement. City Engineering has jurisdiction over drainage easements and has indicated that there is no issue with that department concerning the vacation of the easement. However, as the easement is also indicated to be for utilities, the consent to vacation would have to be given by all active and/or potential users of the easement and ultimately approved by the City Council. Therefore, a condition of approval of both the Subdivision and PUD must be the granting of the vacation of the easement by the City Council. If approved, the remaining portion of the easement should be indicated on both the Final Plat for this application as well as an amended PUD site plan.

The request for the 20' minimum building setback line along Old Shell Road would seem in order as this is an innovative private street subdivision, and the lot is completely enclosed along the public street frontages with a high masonry wall; therefore, the allowance of a reduced setback along Old Shell Road would be of little consequence. However, as the easement in question is 25' wide, no building setback line encroachment into such can be allowed. Therefore, the approval of the requested 20' building setback line must be contingent upon the vacation of the easement. But the vacation of the Eastern-most portion of the easement still would not allow the 20' building setback line within the remaining Western-most portion of the 25' easement. If the easement vacation is granted, the building setback line may only be adjusted within the area of the vacation and not in any portion where the easement remains 25' wide.

As previously mentioned, the originally-approved PUD indicated building limit lines which were not indicated on the recorded plat of Taylor Place Subdivision. The 25' minimum building setback line along Old Shell Road and the 20' minimum building setback line along Oakland Avenue were recorded as well as the 15' minimum front building setback line along Taylor Place. However, a 15' building limit line along both the West and North property lines were not recorded. A recorded 7.5' drainage and utility easement along the West property line was not indicated on the original PUD. The fact that the 15' building limit lines were not recorded may or may not have contributed to the encroachment of the existing residence into those limits (and the standard 8' side yard setback) along the North side of the property. The proposed additions meet the 15' limit and the recorded 20' setback along Oakland Avenue. However, to correct the encroachments into both the original PUD limits and the standard 8' side yard setback, the amended PUD should indicate the 15' building limit line along the North side of the property, adjusted to dodge around existing structures. The 15' building limit line should also be illustrated along the West property line as in the original approval. The lines should also be indicated on the Final Plat for the Subdivision.

The original PUD made no allowance for increased site coverage above the standard allowable 35% in R-1 districts. Staff calculations indicate that the total site coverage including existing and proposed structures would be approximately 26%, well under the maximum allowed.

However, a note should be placed on the PUD stating that the site is limited to a maximum site coverage of 35% by all structures.

As in the original approval of Taylor Place Subdivision, the lot should be denied access to Old Shell Road. Since Taylor Place is a private street subdivision, the maintenance of the private street would be the responsibility of the property owners. Also, the recorded plat of Taylor Place Subdivision indicates that some storm water detention facilities are located within the boundaries of some of the drainage and utility easements; therefore, the maintenance of these facilities would also be the responsibility of the property owners.

The lot should be labeled with its size in square feet and acres on both the PUD site plan and Final Plat, or a table should be furnished providing the same information.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Two copies of a revised site plan incorporating all conditions of approval for the PUD should be furnished to Planning prior to signing the Final Plat for the Subdivision.

RECOMMENDATION

Subdivision: Based on the preceding, the Subdivision is recommended for tentative approval, subject to the following conditions:

- 1) completion of the Vacation process for the Eastern-most portion of the drainage and utility easement prior to signing the Final Plat;
- 2) illustration of the 20' minimum building setback line along Old Shell Road, only within the area of the vacated easement, adjusted around the encroaching landing, stairs, and brick planter;
- 3) revision of the plat to illustrate the existing 25' minimum building setback line remaining along Old Shell Road where the easement is not vacated and remains 25' wide;
- 4) illustration of the 20' minimum building setback line along Oakland Avenue;
- 5) revision of the plat to illustrate the 15' building limit line of the original PUD along the West property line;
- 6) revision of the plat to illustrate the 15' building limit line of the original PUD along the North property line, adjusted around any existing building encroachments;
- 7) placement of a note on the Final Plat stating that the lot is denied access to Old Shell Road;
- 8) placement of a note on the Final Plat stating that the maintenance of the private street is the responsibility of the property owners;
- 9) placement of a note on the Final Plat stating that the maintenance of any storm water detention facilities located within drainage and utility easements is the responsibility of the property owners;
- 10) labeling of the lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;

- 11) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 12) subject to the Engineering comments: *(The following comments should be addressed prior to acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). 2. A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat.);*
- 13) subject to the Traffic Engineering comments: *(Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards);*
- 14) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);* and
- 15) furnishing of two copies of a revised PUD site plan to the Planning Section prior to the signing of the Final Plat.

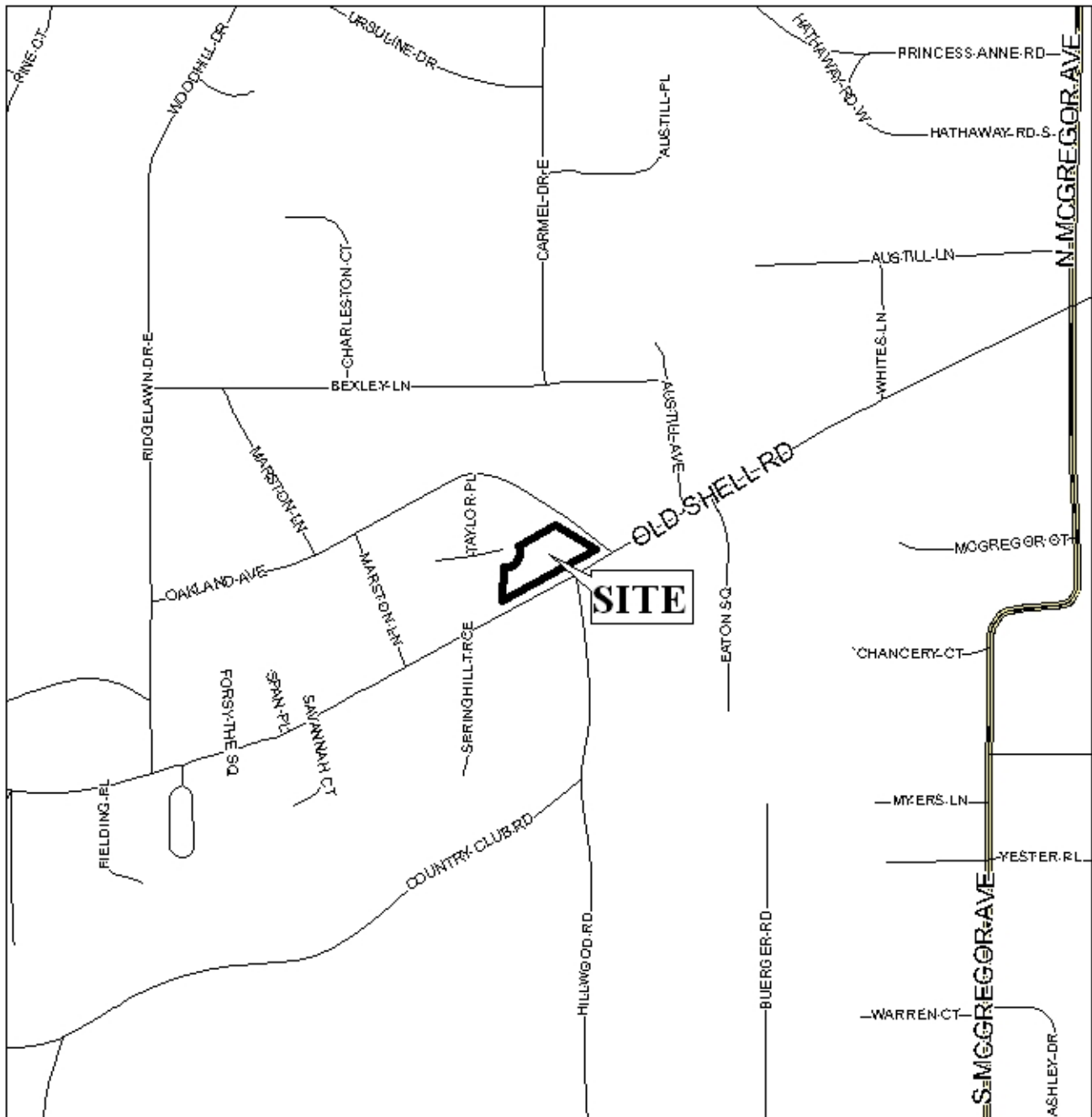
Planned Unit Development: Based upon the preceding, the PUD application is recommended for approval, subject to the following conditions:

- 1) completion of the Vacation process for the Eastern-most portion of the drainage and utility easement;
- 2) revision of the site plan to illustrate the 20' minimum building setback line along Old Shell Road, only within the area of the vacated easement, adjusted around the encroaching landing, stairs, and brick planter;
- 3) revision of the site plan to illustrate the existing 25' minimum building setback line remaining along Old Shell Road where the easement is not vacated and remains 25' wide;
- 4) illustration of the 20' minimum building setback line along Oakland Avenue;
- 5) revision of the site plan to illustrate the 15' building limit line of the original PUD along the West property line;
- 6) revision of the site plan to illustrate the 15' building limit line of the original PUD along the North property line, adjusted around any existing building encroachments;
- 7) placement of a note on the site plan stating that the lot is limited to 35% total site coverage by all structures;
- 8) placement of a note on the site plan stating that the lot is denied access to Old Shell Road;
- 9) labeling of the lot with its size in both square feet and acres, or the furnishing of a table on the site plan providing the same information;
- 10) placement of a note on the site plan stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 11) subject to the Engineering comments: *(1. The drainage easement is currently being reviewed through the City's easement vacation process. The Subdivision (Taylor Place) currently utilizes a portion of the underground drainage pipe on Lot 4 for detention, and the applicant is proposing to install additional underground pipes within the remaining drainage easement to provide the required storage volume for the Subdivision detention. The Engineering Dept will coordinate the vacation process with the installation of the additional underground pipe(s) through the Land Disturbance permitting process. 2. Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile*

City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);

- 12) furnishing of two copies of a revised PUD site plan to the Planning Section prior to the signing of the Subdivision Final Plat; and
- 13) full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 28 & 29 DATE October 4, 2012

APPLICANT Taylor Place Subdivision, Resubdivision of Lot 4

REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single-family residences.

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LEGEND

| | | | | | | | | | | | | | | |
|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
| R-1 | R-2 | R-3 | R-A | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

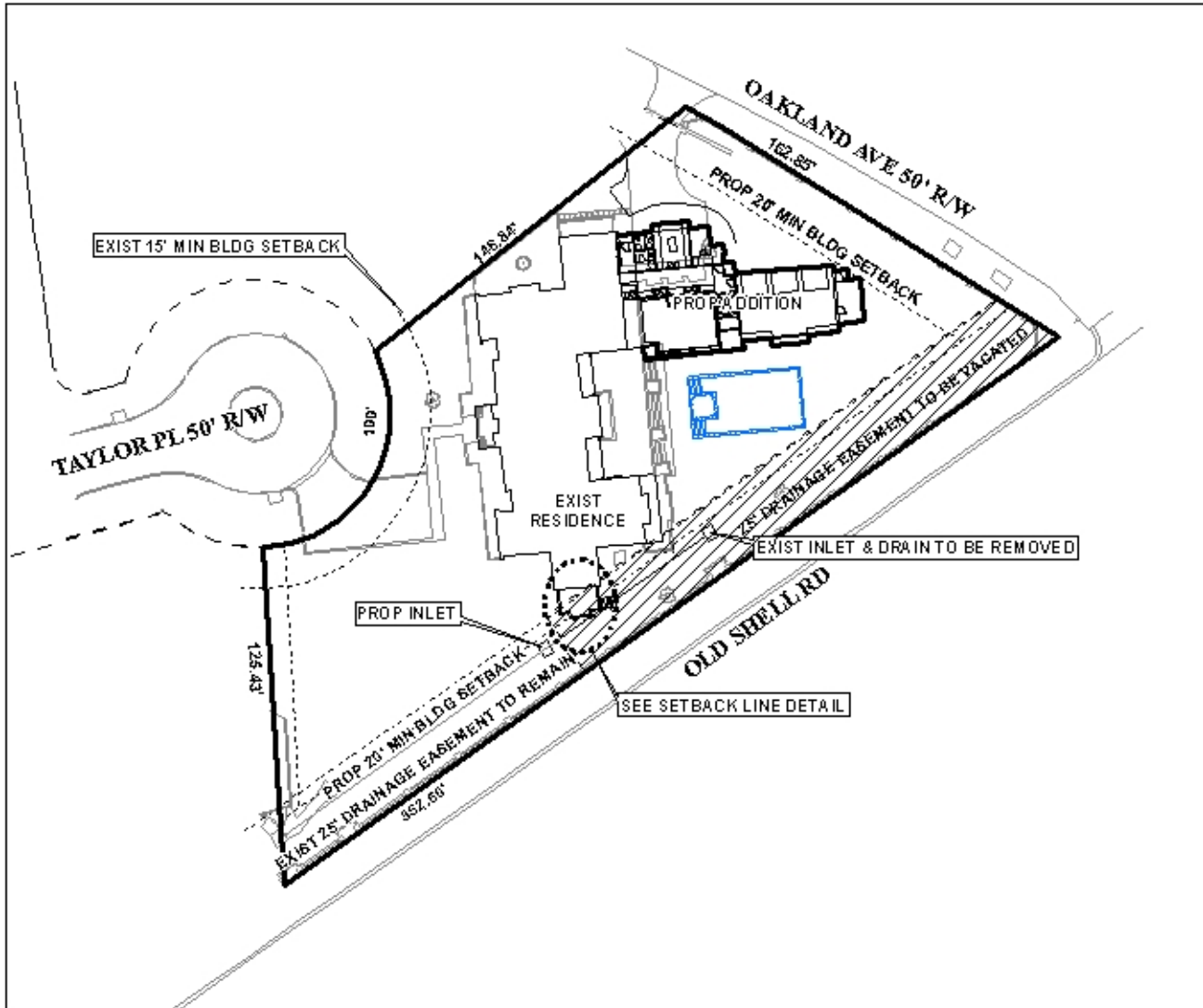


The site is surrounded by single-family residences.

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SITE PLAN

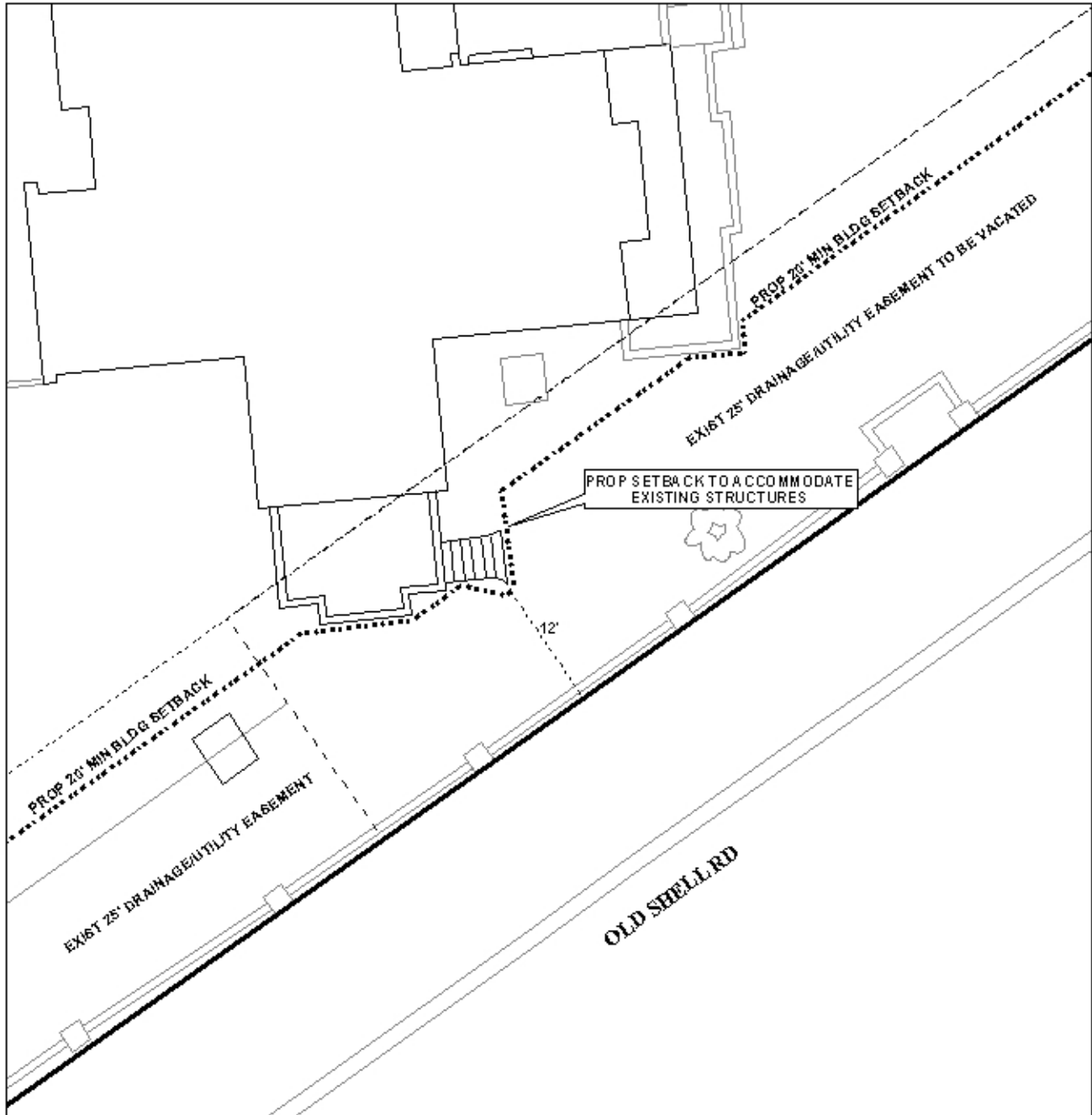


The site plan illustrates the proposed addition, setbacks, and easements.

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SETBACK LINE DETAIL



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