

**PLANNED UNIT DEVELOPMENT &
PLANNING APPROVAL STAFF REPORT****Date: May 3, 2007**

<u>NAME</u>	MacMae Venture, LLC & Georgetown Partners, LLC
<u>LOCATION</u>	2789 MacMae Drive (South terminus of MacMae Drive)
<u>CITY COUNCIL DISTRICT</u>	District 5
<u>PRESENT ZONING</u>	B-3, Community Business District
<u>AREA OF PROPERTY</u>	4.4 acres \pm
<u>CONTEMPLATED USE</u>	Planning Approval to allow heavy distribution (gross floor area more than 40,000 square feet) in a B-3, Community Business District, and Planned Unit Development Approval to allow shared access and parking between two building sites.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediate
<u>ENGINEERING COMMENTS</u>	Show limits of AE flood plain. Any lots in AE flood plain should have the minimum finished floor elevation shown on each lot. No detention allowed in AE flood plain. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.
<u>TRAFFIC ENGINEERING COMMENTS</u>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.
<u>URBAN FORESTRY COMMENTS</u>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).
<u>FIRE DEPARTMENT COMMENTS</u>	No comments.
<u>REMARKS</u>	The applicant is requesting Planning Approval to allow heavy distribution (gross floor area more than 40,000 square feet) in a B-3, Community Business District, and Planned Unit Development Approval to allow shared access and parking between

two building sites. Distribution / warehouse uses require Planning Approval in B-3 districts if they exceed 40,000 square feet: 45,600 square feet is proposed. Distribution / warehouse uses that exceed 40,000 square feet are allowed by right in B-5, Office-Distribution, I-1, Light Industry, and I-2, Heavy Industry Districts.

A Subdivision application involving the site in question was approved by the Planning Commission at its April 19, 2007 meeting. The conditions of approval for the subdivision are as follows:

- 1) full compliance with Engineering comments [*Delete note 4 on the plat ("Flood zones platted from elevations.")*]. *Flood zones should be clearly delineated on the plat based on scaling the flood zone from FEMA maps, not based on elevation. Show minimum finished floor elevation on each lot. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*];
- 2) depiction of the size of each lot in square feet on the final plat;
- 3) depiction of a minimum 10-foot wide buffer along the South property lines, where the lots abut existing residential development in the Belvedere Park subdivision, and placement of a note on the plat stating that the buffer area shall be landscaped or left in its natural state;
- 4) placement of a note on the final plat and site plan stating that approval of all applicable federal, state and local agencies is required prior to the issuance of any permits or land disturbance activities;
- 5) placement of a note on the plat stating that each lot is limited to one curb-cut each onto MacMae Drive, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) placement of a note on the plat stating that all lots are denied access to Belvedere Circle East and Moot Avenue;
- 7) submittal of an application for PUD to accommodate any shared access between Lots 2 and 3 that is depicted as an easement on the plat;
- 8) correction of the distance depicted on the lot line separating Lots 1 and 2; and
- 9) full compliance with all other municipal codes and ordinances.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It should be noted that PUD and Planning Approval are site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The site is composed of two legal lots, located at the terminus of MacMae Drive, a minor street with adequate right-of-way, and abutting the street stub for Belvedere Circle East. While each lot has from 60 to 70 feet \pm of frontage on MacMae Drive, the applicant proposes to have one shared access point and parking area for both lots, thus the need for the PUD application. The access drive proposed by the applicant will be 30-feet in width, thus it should be adequate for tractor-trailers serving the site. It should be pointed out, however, that the island in the cul-de-sac terminus of MacMae Drive may make access less than ideal for large trucks. The site should be denied access to Belvedere Circle East, and a note should be placed on the site plan stating such. The site should also be limited to the curb-cut depicted on the site plan, and a note should be placed on the site plan, if approved, stating that the site is limited to one curb-cut onto MacMae Drive, with the size, design and location to be approved by Traffic Engineering and conform with AASHTO standards.

Planning Approval was determined necessary due to the fact that the PUD links together two lots that independently do not have more than 40,000 gross square feet of distribution uses proposed, but when combined in the PUD exceeded the threshold.

The site is vacant and is bounded to the South by single-family residences in an R-1, Single-Family Residential District, and to the West, North and East by vacant and developed properties in a B-3 district.

The site plan depicts two buildings, one containing 12,000 square feet \pm , and the other containing 33,600 square feet \pm in three separate spaces. Access, parking and storm water drainage and detention are shared between the buildings. A 10-foot wide buffer strip is proposed where the site abuts existing residences. The development will have a total of 16,960 square feet \pm of office space and 28,620 square feet \pm of warehouse space. A total of 19 warehouse employees are proposed, thus a minimum of 64 parking spaces would be required to serve the office and warehouse areas: 67 spaces are provided. It should be noted that the parking tally calculations on the site plan are not correct.

A landscape site plan has been provided to show compliance with the tree and landscaping requirements of the Zoning Ordinance. The overall size of the site, 4.4 acres \pm , requires a minimum landscape area of 23,184 square feet to meet the 12% landscape area requirement of Section 64-4.3.a. of the Zoning Ordinance: the site plan apparently depicts 35,501 square feet, well in excess of the minimum requirements. The landscape site plan also shows that some of the existing trees on the site will be retained for credits towards meeting the tree requirements. It should be noted that any trees that are used for credit, but that subsequently die, must be replaced. It should also be pointed out that the 10-foot wide buffer strip along the South property, adjacent to existing residences, should be kept either in a natural state, or augmented as necessary to provide an effective buffer. Finally, it appears that additional understory trees will be required in order to comply with Section 64-4.E.3.b.(1). *"Parking lot requirements."*

A sidewalk is depicted in the right-of-way where the site abuts the cul-de-sac of MacMae Drive. Construction of the sidewalk will be required unless a Sidewalk Waiver application is submitted to and approved by the Planning Commission.

Section 64-6. of the Zoning Ordinance requires that lighting be provided for off-street parking facilities containing more than ten spaces, if the parking facilities will be used after dark. If lighting of the building or parking area is proposed, the lighting must fully comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance; specifically, lighting for the site should be designed and placed so that it does not shine onto residential properties (use of “full cut-off” fixtures).

Finally, the legal description on the site plan refers to “Lot 3 and 4, Willard Subdivision, First Addition.” The subdivision plat described in the legal description requires a 75-foot buffer strip where the lots abut the residences in the Belvedere Park Subdivision. Therefore the development, as proposed, is not possible until the “Willard Court” plat approved at the April 19, 2007 meeting of the Planning Commission is recorded, as it only requires a 10-foot buffer strip, as proposed by this application. The legal description on the site plan should then be updated to reflect the newly recorded plat.

RECOMMENDATION

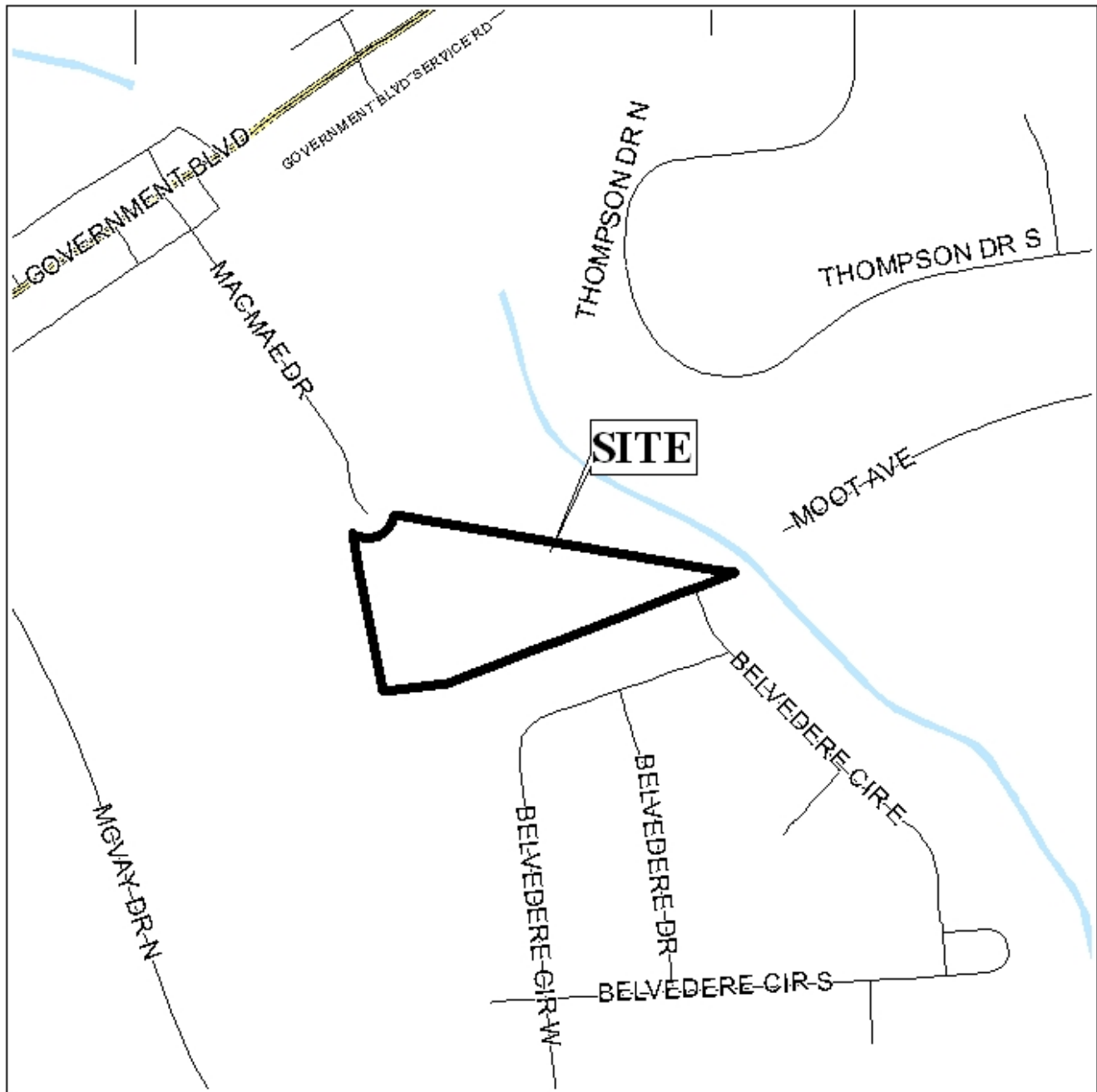
Planning Approval: The request is recommended for Approval, subject to the following conditions:

- 1) completion of the Subdivision process for the “Willard Court” plat approved at the April 19, 2007 meeting of the Planning Commission, prior to the issuance of any permits for site development, and revision of the legal description on the site plan to reflect the recorded plat;
- 2) placement of a note on the site plan stating that the site is denied access to Belvedere Circle East;
- 3) placement of a note on the site plan stating that the site is limited to one curb-cut onto MacMae Drive, with the size, design and location to be approved by Traffic Engineering and conform with AASHTO standards;
- 4) correction of the parking calculations on the site plan;
- 5) revision of the site plan to fully comply with the tree and landscaping requirements of the Zoning Ordinance, including the provision of additional understory trees required by Section 64-4.E.3.b.(1). *Parking lot requirements*, if necessary;
- 6) placement of a note on the site plan stating that the 10-foot buffer area shall be landscaped or left in its natural state;
- 7) compliance with the site and parking area lighting requirements of Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance;
- 8) provision of the 6-foot high privacy fence, as depicted on the site plan;
- 9) provision of two (2) revised site plans (one for Planning Approval, one for PUD approval) to the Planning Section of Urban Development prior to the request of building or site development permits; and
- 10) full compliance with all other municipal codes and ordinances.

Planned Unit Development: The request is recommended for Approval, subject to the following conditions:

- 1) completion of the Subdivision process for the “Willard Court” plat approved at the April 19, 2007 meeting of the Planning Commission, prior to the issuance of any permits for site development, and revision of the legal description on the site plan to reflect the recorded plat;
- 2) placement of a note on the site plan stating that the site is denied access to Belvedere Circle East;
- 3) placement of a note on the site plan stating that the site is limited to one curb-cut onto MacMae Drive, with the size, design and location to be approved by Traffic Engineering and conform with AASHTO standards;
- 4) correction of the parking calculations on the site plan;
- 5) revision of the site plan to fully comply with the tree and landscaping requirements of the Zoning Ordinance, including the provision of additional understory trees required by Section 64-4.E.3.b.(1). *Parking lot requirements*, if necessary;
- 6) placement of a note on the site plan stating that the 10-foot buffer area shall be landscaped or left in its natural state;
- 7) compliance with the site and parking area lighting requirements of Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance;
- 8) provision of the 6-foot high privacy fence, as depicted on the site plan;
- 9) provision of two (2) revised site plans (one for Planning Approval, one for PUD approval) to the Planning Section of Urban Development prior to the request of building or site development permits; and
- 10) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 28 & 29 DATE May 3, 2007

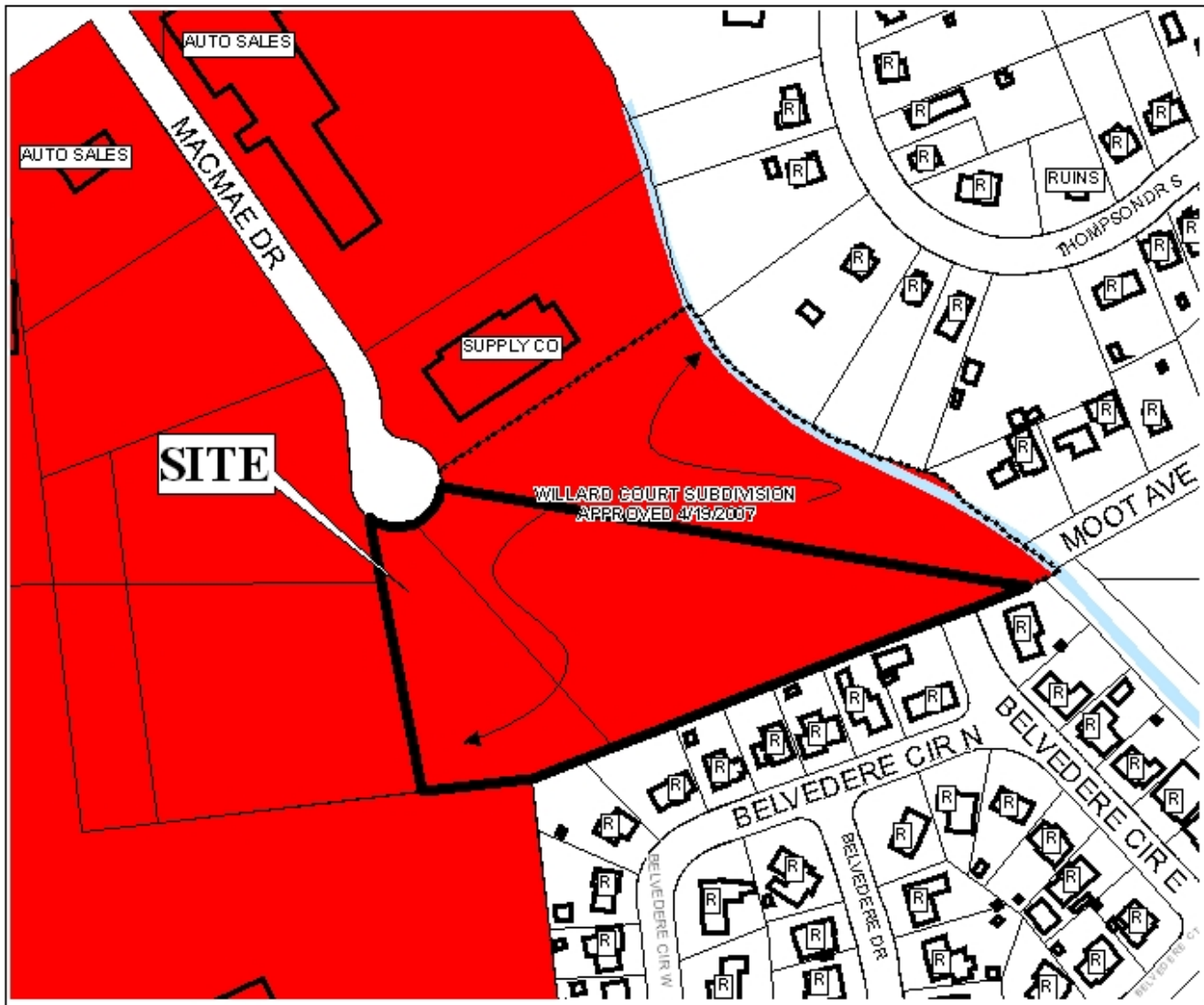
APPLICANT MacMae Venture, LLC & Georgetown Partners, LLC

REQUEST Planned Unit Development, Planning Approval



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

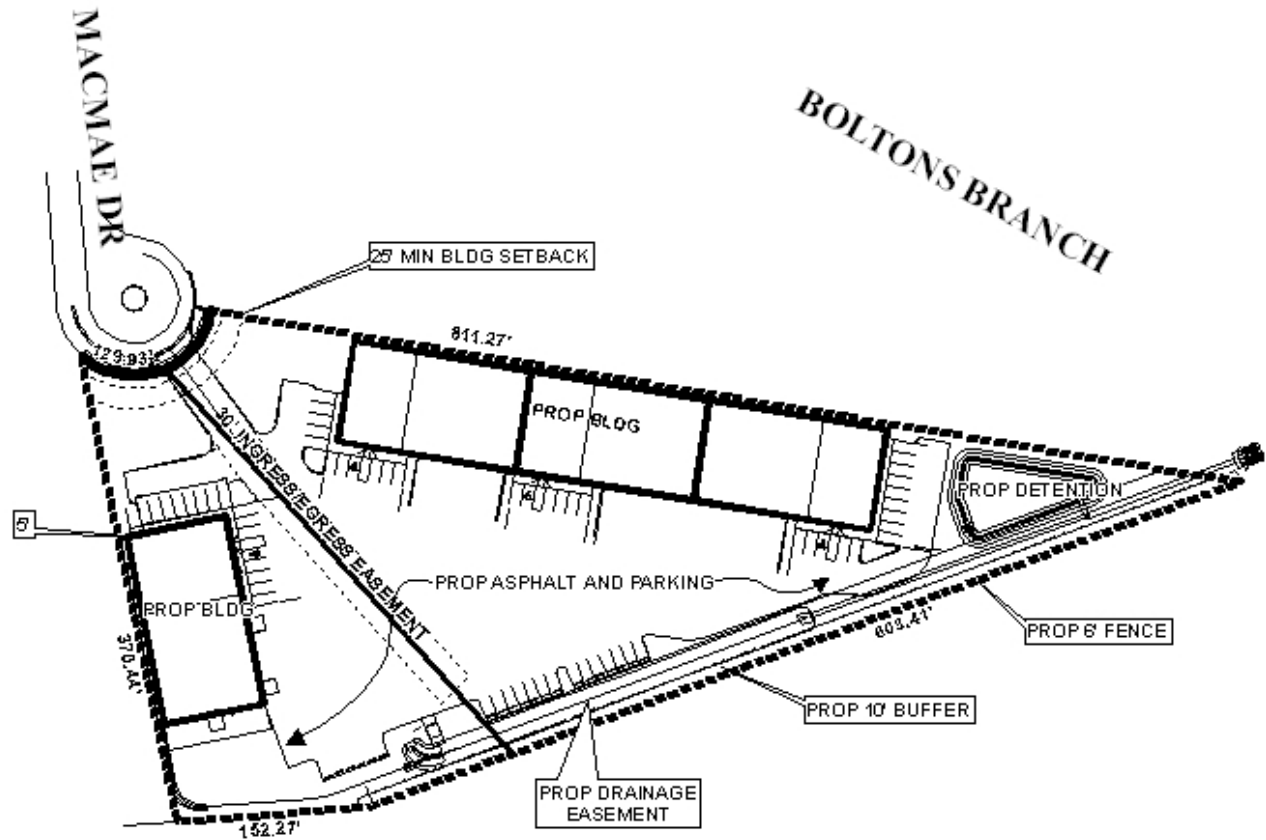


Residential units are located to the east and south of the site.
Commercial sites are located to the north and west of the site.

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LEGEND NTS

SITE PLAN



The site plan illustrates the proposed buildings, parking, drainage, and buffer strip

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