

**PLANNED UNIT DEVELOPMENT &
PLANNING APPROVAL STAFF REPORT****Date: May 17, 2007****NAME**

Gates of Praise Church

LOCATION2251 Webb Avenue
(West terminus of Webb Avenue and extending South to
McVay Drive North)**CITY COUNCIL
DISTRICT**

District 3

PRESENT ZONING

R-1, Single-Family Residential District

AREA OF PROPERTY

2.1± Acres

CONTEMPLATED USE

Planning Approval to allow an expansion of an existing church in an R-1, Single-Family Residential District, and Planned Unit Development Approval to allow multiple buildings on a single building site.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

**ENGINEERING
COMMENTS**

The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands. If wetlands are present, no work allowed without a Corps of Engineers permit. Show limits of AE flood plain. No fill allowed in AE flood plain without compensation. Show minimum finished floor elevation on any lot touched by AE flood plain. No detention is allowed in the AE flood plain. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**

No comments.

REMARKS

The applicant is requesting Planning Approval to allow an expansion of an existing church in an R-1, Single-Family Residential District, and Planned Unit Development Approval to allow multiple buildings on a single building site.

The applicant is proposing the addition of a 50' x 80', 6,000 square foot sanctuary to an existing church site. The Zoning Ordinance states that religious facilities are allowed in R-1, single-Family Residential Districts with planning Approval.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development (PUD) review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

It is very important to note that both the Planning Approval and the Planned Unit Development reviews are site plan specific; therefore any future changes to the site plan, as approved, by current or future applicants must be submitted for Planning Approval and Planned Unit Development review. Thus any future proposed changes to parking, structure expansion, etc., must be reviewed and approved through the planning process.

As the reviews for Planning Approval and Planned Unit Development approval are similar, the analysis/remarks for both applications will be consolidated.

The site is bounded to the North, South, and East by single-family homes located in an R-1, Single-Family Residential District, to the West by a tributary of Dog River. Because the site abuts residential uses, a protection buffer in conformance with Section 64-4.D. is required. The site plan does not appear to indicate that the proposed development has any provisions for the required protection buffer, and it clearly shows that there is no protection buffer associated with the existing development. The site plan should be revised to depict the required protection buffer.

The site fronts onto North McVay Drive as illustrated with adequate right-of-way and Webb Avenue, both minor streets; however, Webb Avenue does not have adequate right-of-way and is not improved. Therefore access to Webb Avenue should be denied.

It is anticipated that lighting will be provided on the site for the new sanctuary. Any lighting provided must comply with Section 64-4.A.2. of the Zoning Ordinance, and not shine directly into adjacent residential areas or into traffic. The site plan should be revised to depict any exterior lighting, and information provided to staff regarding selected lighting fixtures in order to ensure conformance with the lighting requirements of the Zoning Ordinance.

Full compliance with the tree and landscaping requirements of Section 64-4.E. of the Zoning Ordinance should be required for the site. The applicant should consult with Urban Forestry regarding the preservation of the existing 48-inch Live Oak tree.

There is no indication on the site plan as to the proposed location of any dumpster or other waste storage facility. If the applicant utilizes a dumpster, the location of the storage area for the dumpster must be indicated on the site plan, and the location and required screening must comply with Section IV.D.9. of the Zoning Ordinance, as well as with all other applicable regulations.

The depth of the lot may require the provision of on-site fire hydrants. The applicant should also verify that there is sufficient paved area on the site to allow a fire apparatus to turn around on the premises. The applicant should contact the Mobile Fire and Rescue Department for more information.

RECOMMENDATION

Planning Approval: Based upon the preceding, this request is recommended for Approval, subject to the following conditions: 1) compliance with Engineering comments (The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands. If wetlands are present, no work allowed without a Corps of Engineers permit. Show limits of AE flood plain. No fill allowed in AE flood plain without compensation. Show minimum finished floor elevation on any lot touched by AE flood plain. No detention is allowed in the AE flood plain. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.); 2) that the site be allowed one curb cut to North McVay Drive, as illustrated on the submitted plan; 3) that access to Webb Avenue be denied; 4) any lighting provided must comply with Section 64-4.A.2. of the Zoning Ordinance, and not shine directly into adjacent residential areas or into traffic; 5) a protection buffer in conformance with Section 64-4.D. and 64-6.3.i. where the site abuts residential properties; 6) full compliance with the landscaping and tree planting requirements of the Ordinance for the entire site; 7) preservation of the 48-inch Live Oak tree; and 8) full compliance with all municipal codes and ordinances.

Planned Unit Development: Based upon the preceding, this request is recommended for Approval, subject to the following conditions: 1) compliance with Engineering comments (The applicant is responsible for verifying if the site contains wetlands. The site can be checked against the National Wetlands Inventory on the COM web site Environmental Viewer. If the site is included on the NWI, it is the applicant's responsibility to confirm or deny the existence of regulatory wetlands. If wetlands are present, no work

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LOCATOR MAP



APPLICATION NUMBER 28 & 29 DATE May 17, 2007

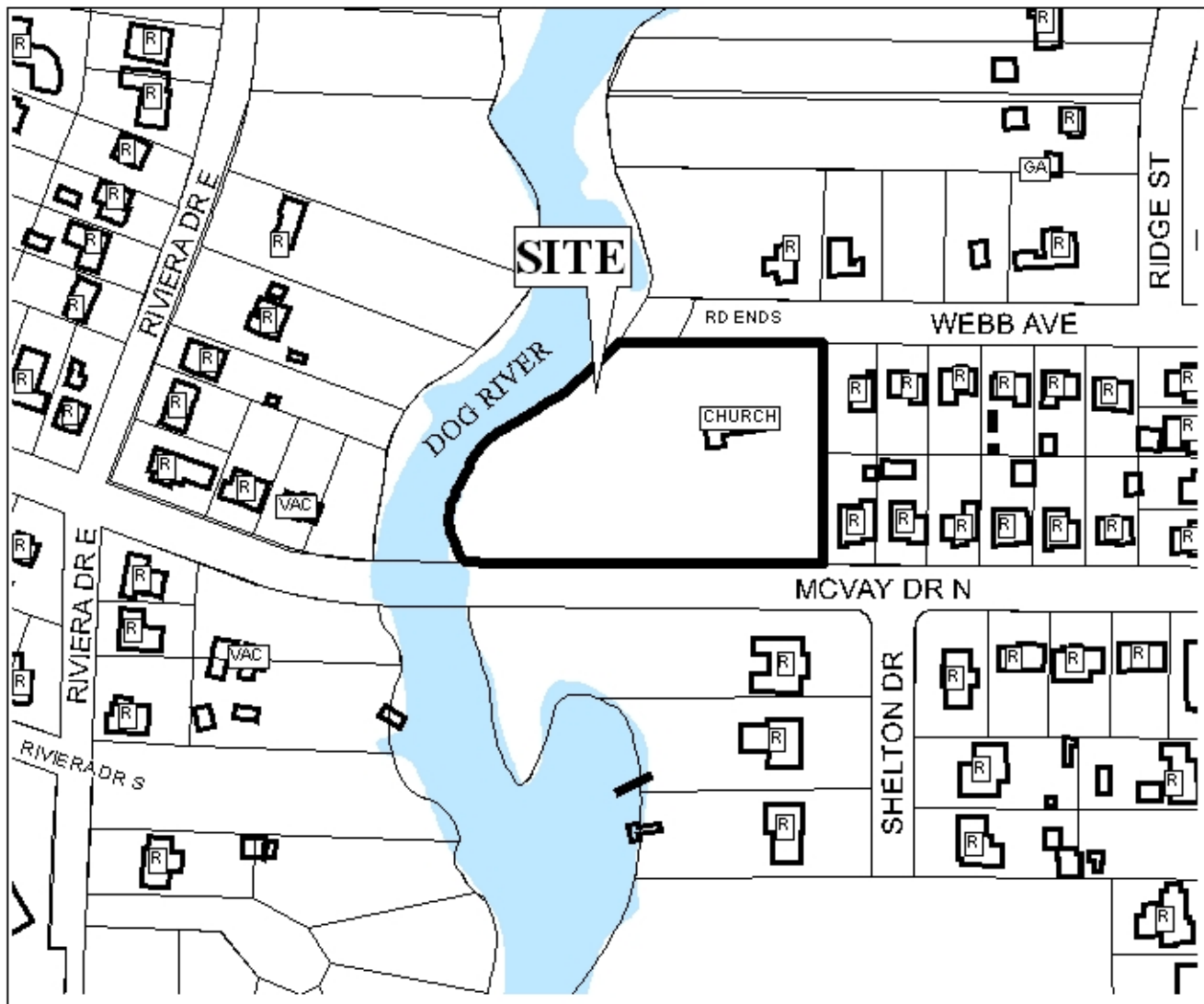
APPLICANT Gates of Praise Church

REQUEST Planning Approval, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by single family residential units.

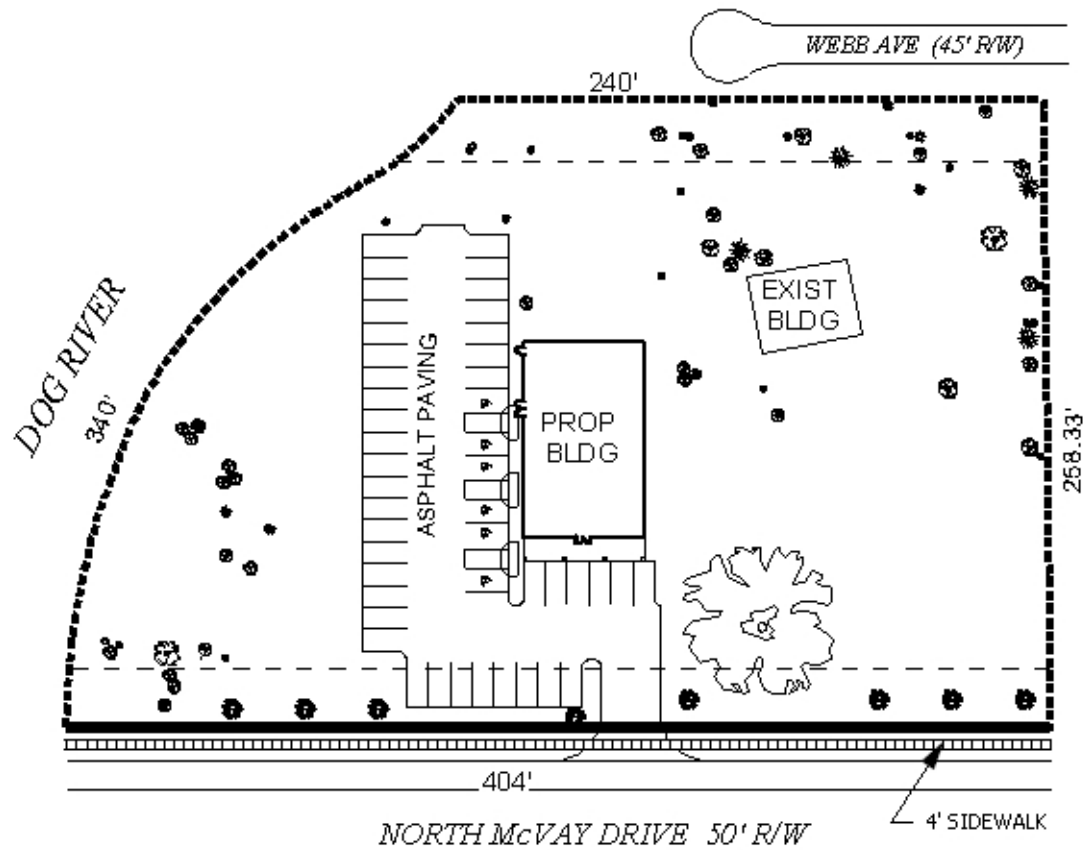
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LEGEND NTS

SITE PLAN



The proposed building, existing building, proposed drive, parking, and sidewalks are illustrated in the site plan.

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