

**PLANNED UNIT DEVELOPMENT &  
PLANNING APPROVAL STAFF REPORT****Date: October 2, 2008****NAME**

Dunhill Terminals, LP

**LOCATION**1437 Cochran Causeway  
(West side of Cochran Causeway, 1000'± South of the  
South Terminus of the Cochran-Africatown Bridge).**CITY COUNCIL  
DISTRICT**

District 2

**PRESENT ZONING**

I-2, Heavy Industrial District

**CONTEMPLATED USE**Planning Approval to allow a bulk fuel storage facility in  
an I-2, Heavy Industrial District, and Planned Unit  
Development Approval to allow multiple buildings on a  
single building site.**TIME SCHEDULE  
FOR DEVELOPMENT**

Currently under construction

**ENGINEERING  
COMMENTS**

Show Minimum FFE on plans and plat for all lots located within the X-Shaded and AE Flood Zones. No fill allowed within a special flood hazard area without providing compensation or completing a flood study showing that there is no rise for the proposed fill within the special flood hazard area. Must comply with all storm water and flood control ordinances. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS show wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

**REMARKS**

The applicant is requesting Planning Approval to allow a bulk fuel storage facility in an I-2, Heavy Industrial District, and Planned Unit Development Approval to allow multiple buildings on a single building site. Planning Approval is required for bulk fuel storage facilities in I-2 districts.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

It is very important to note that the Planning Approval and PUD review are site plan specific; therefore *any* future changes to the overall site plan must be submitted for PUD review. Additionally, if the scope of operations for the bulk tank facility or the site plan are changed from what is approved by the Planning Commission, a new application for Planning Approval will be required.

The applicant, Dunhill Terminals, LP, proposes to expand their facilities through the addition of 3 new 50,000 barrel steel tanks and 5 new 80,000 barrel steel tanks along with a new electrical building, loading and unloading station and relocated office trailer. The site currently has two storage tanks and two metal buildings. They state that 3 of the terminals are to be completed by December 15, 2008 and the remaining 5 will be built by June of 2009.

It appears that the plans depict general compliance with the overall minimum requirements of the Zoning Ordinance. However, it should be pointed out that there does not appear to be a dumpster located on the site. The site plan should be revised to include a dumpster or a note should be placed on the site plan stating that there will be no dumpster at this location.

Also, specifically regarding the one-way circulation of the parking area, the one-way directions should be marked with arrows, and a sign should be posted stating "do not enter" on the exit drive from the parking area.

Aerial photographs from 2006 show what appears to be two small buildings located on the site however, the site plan submitted does not show these buildings. The site plan should be revised to show these buildings or a note should be placed on the site plan stating that they are to be demolished (with all proper permits). If the buildings have been demolished, an after-the-fact permit should be obtained prior to the issuance of a certificate of occupancy.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

## **RECOMMENDATION**

**Planned Unit Development:** Based upon the preceding, the application is recommended for Approval, subject to the following conditions:

- 1) Compliance with revised Engineering comments (*Show minimum finished floor elevation. Label flood zone/floodway. Check the need for 100-year detention with 10-year release with the City Engineer. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.*)
- 2) Revision of the site plan to depict a dumpster with proper buffering or placement of a note stating that there will be no dumpster at this location;
- 3) Revision of the site plan to depict the marking of the drives with arrows and “do not enter” signage to ensure correct circulation;
- 4) Placement of a note on the site plan stating that any changes to the site plan will require new applications for Planning Approval and Planned Unit Development approval prior to the issuance of any permits;
- 5) Placement of a note on the site plan stating that the parking area will be illuminated in accordance with the requirements of Section 64-6.A.3.c. of the Zoning Ordinance, if the parking area is used at night;
- 6) Placement of a note on the site plan stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 7) Full compliance with all municipal codes and ordinances.

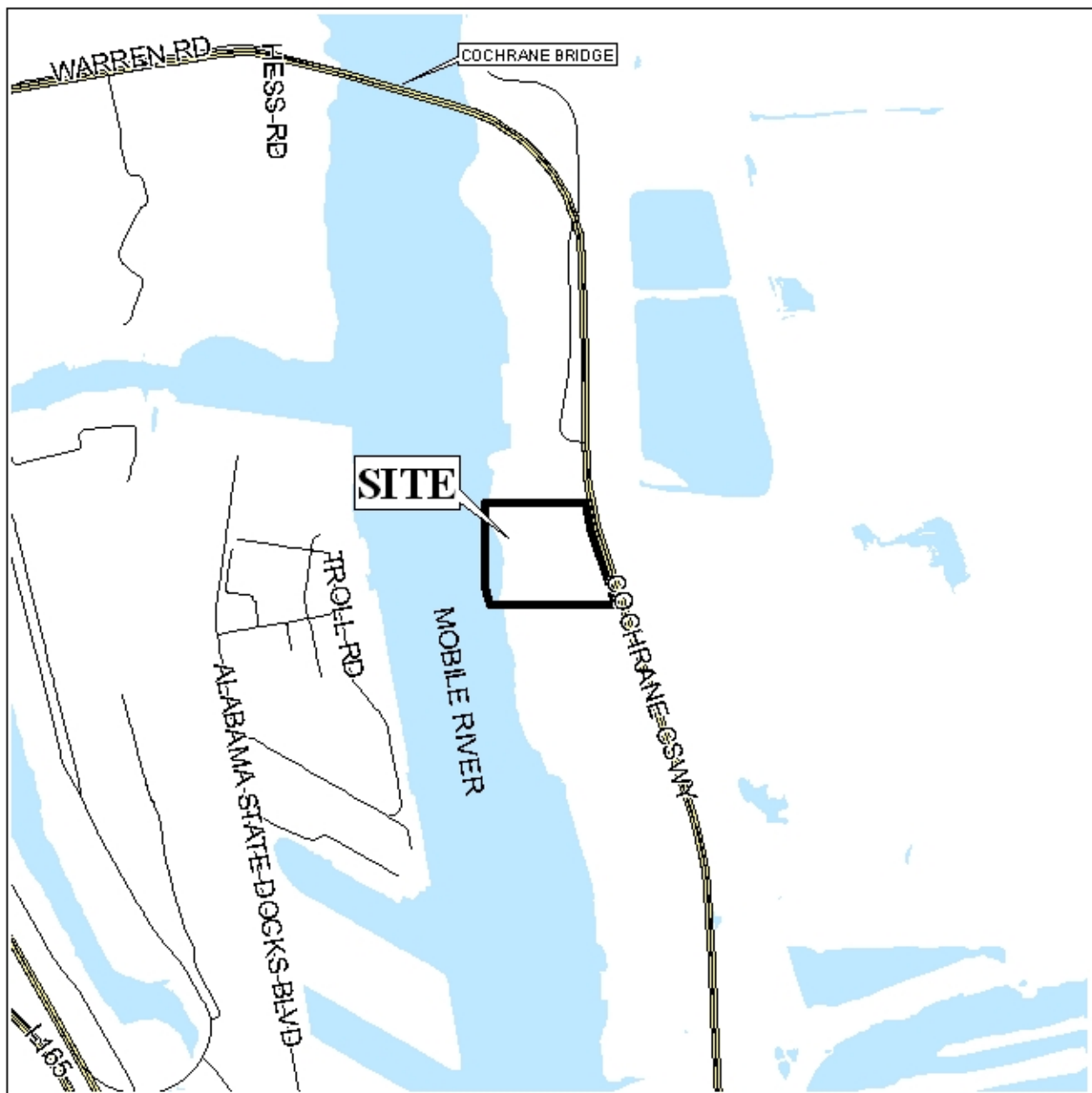
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- 2) Placement of a note on the site plan stating that changes to the scope of operations for Dunhill Terminals, LP will require a new application for Planning Approval;
- 3) Revision of the site plan to depict a dumpster with proper buffering or placement of a note stating that there will be no dumpster at this location;
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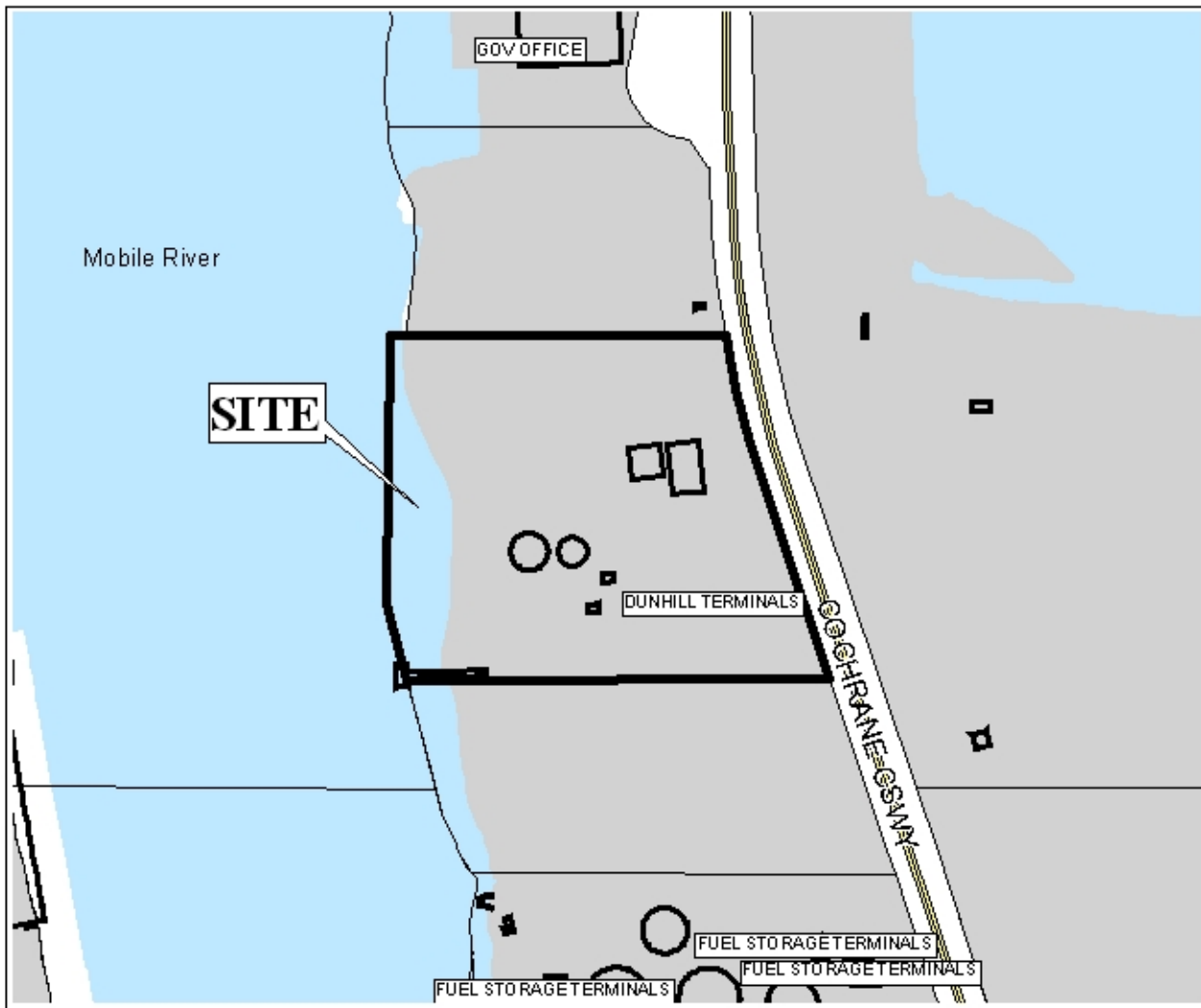
## LOCATOR MAP



APPLICATION NUMBER 28 & 29 DATE October 2, 2008  
APPLICANT Dunhill Terminals, L.P.  
REQUEST Planned Unit Development, Planning Approval

N  
↑  
2  
↓  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



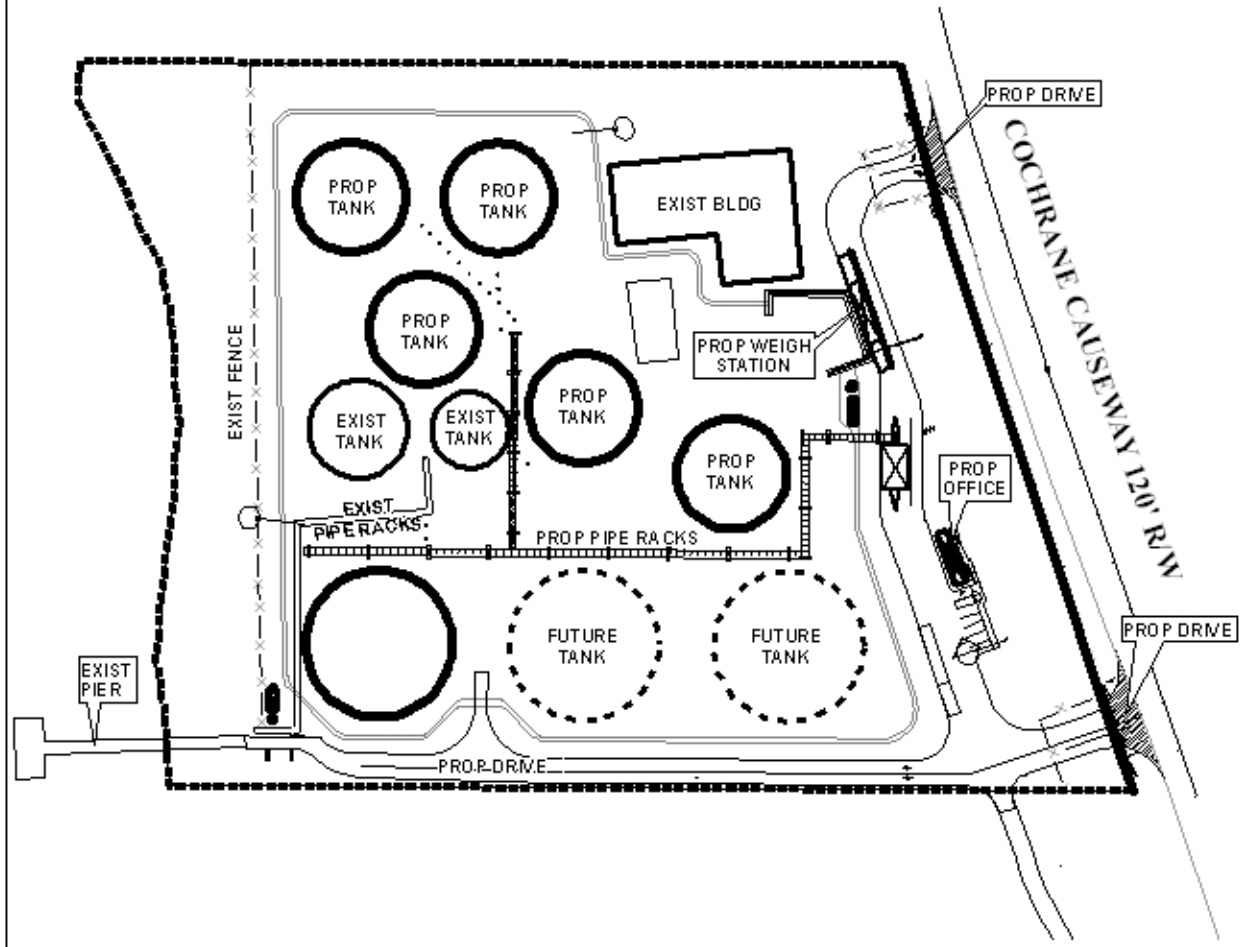
The site is surrounded by industrial land use

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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# SITE PLAN



The site plan illustrates the proposed tanks, buildings, and existing infrastructure

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N  
  
 NTS