

**SUBDIVISION &
SIDEWALK WAIVER STAFF REPORT****Date: September 5, 2013****NAME**

Buffalo Marine Service, Inc

SUBDIVISION NAME

Buffalo Marine Service, 14-Baroid Yard Subdivision

LOCATION

309 South Royal Street
(Area bounded by South Royal Street on West, Canal Street on South, Madison Street on North and CSX Railroad on the East)

**CITY COUNCIL
DISTRICT**

District 2

AREA OF PROPERTY

1 Lot / 3.1 ± acres

PRESENT ZONING

I-2, Heavy Industrial District

**ENGINEERING
COMMENTS**

1. Provide all of the required information on the Plat (i.e. signatures, written legal description, required notes). 2. Show and label the MFFE (Minimum Finished Floor Elevation). 3. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. 4. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity.

Sidewalk Waiver: Due to the industrial zoning and the proximity of the active railroad it is recommended that this request be approved.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

MAWSS**COMMENTS**

MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Subdivision approval to create 1 lot, and Sidewalk Waiver approval to waive construction of a sidewalk along Madison Street and Canal Street. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts Canal Street, South Royal Street, and Madison Street. Canal Street and Madison Street are minor streets thus requiring a 50 feet right-of-way, as illustrated on the plat. South Royal Street is a proposed major street according to the Major Street Plan component of the Comprehensive Plan which requires a minimum right-of-way width of 80 feet. The preliminary plat depicts a 64-foot wide right-of-way. Therefore, additional right-of-way should be dedicated to provide 40 feet, as measured from the centerline, including revisions to the 25 feet minimum building setback line. The site has multiple intersections corners. A corner radius should be provided to each corner, to comply with Section V.D.6 of the Subdivisions Regulation.

The existing lots appear to have one existing curb-cut onto Madison Street, five existing curb-cuts onto South Royal and there are no existing curb-cuts onto Canal Street. The plat specifically identifies two concrete drive curb-cuts onto South Royal and one concrete drive curb-cut onto Madison Street that will allow an ingress and egress; thus, all other existing curb-cuts should be removed and landscaped to match adjacent right-of-way. Furthermore, the proposed lot should be limited to the two existing curb-cuts onto South Royal Street, and one existing curb-cut onto Canal Street and Madison Street with the size, design and location to be approved by Traffic Engineering, and in conformance to the greatest extent possible with AASHTO standards.

The entire site appears to be located within the AE flood zone and may be subject to hurricane storm surges due to its close proximity to the Mobile River and Mobile Bay. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

It should also be noted that there is a MAWSS water and sewer service easement located on the southern portion of the property.

Regarding the Sidewalk Waiver request, the applicant states that there is an abundance of utilities, above and below ground, existing along Madison Street and Canal Street. The applicant also states that Water Street, lying East of the railroad tracks and East of the subject property, currently has no sidewalk and pedestrian traffic along Madison Street and Canal Street is minimal. Furthermore, the applicant states that there are sidewalks that currently exist along the North side of Madison Street and along the South side of Canal Street.

With regard to the applicant's request, not having a sidewalk on Water Street and minimal pedestrian traffic does not negate the fact that a sidewalk is required by the Subdivision Regulations. The applicant states that there are sidewalks that currently exist along the North side of Madison Street and along the South side of Canal Street thus confirming that sidewalks on this site along Madison Street and Canal Street would not be abnormal and would allow connectivity. It appears that there is sufficient area between the utility poles and property for the construction of a 4 feet wide sidewalk. It is always desirable to provide a sidewalk if possible to create walkable environment, even for industrial. However, the City's Engineering Department has stated that due to the industrial zoning and the proximity of the active railroad the sidewalk waiver should be recommended for approval.

It should also be noted that the applicant did not request a sidewalk waiver for South Royal Street, thus the existing sidewalk should be retained.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) dedication of sufficient right-of-way to provide 40' from the centerline of South Royal Street;
- 2) adjustment of the 25-foot minimum building setback line to be measured from the dedicated right-of-way along South Royal Street;
- 3) placement of a note on the Final Plat stating that the site is limited to one curb cut to Canal Street, one curb cut to Madison Street, and two curb cuts to South Royal Street with the size, design and location to be approved by Traffic Engineering, and in conformance to the greatest extent possible with AASHTO standards;
- 4) placement of a note on Final Plat stating all unused curb cuts shall be removed and landscaped to match adjacent right-of-way;
- 5) provisions for all corners to comply with Section V.D.6 of the Subdivisions Regulation;
- 6) placement of a note on the final plat stating that approval of all applicable Federal, state and local agencies is required for flood zone issues, prior to the issuance of any permits or land disturbance activities;
- 7) compliance with Engineering comments: *"1. Provide all of the required information on the Plat (i.e. signatures, written legal description, required notes). 2. Show and label the MFEE (Minimum Finished Floor Elevation). 3. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. 4. Add a note to*

the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity.

Sidewalk Waiver: Due to the industrial zoning and the proximity of the active railroad it is recommended that this request be approved.

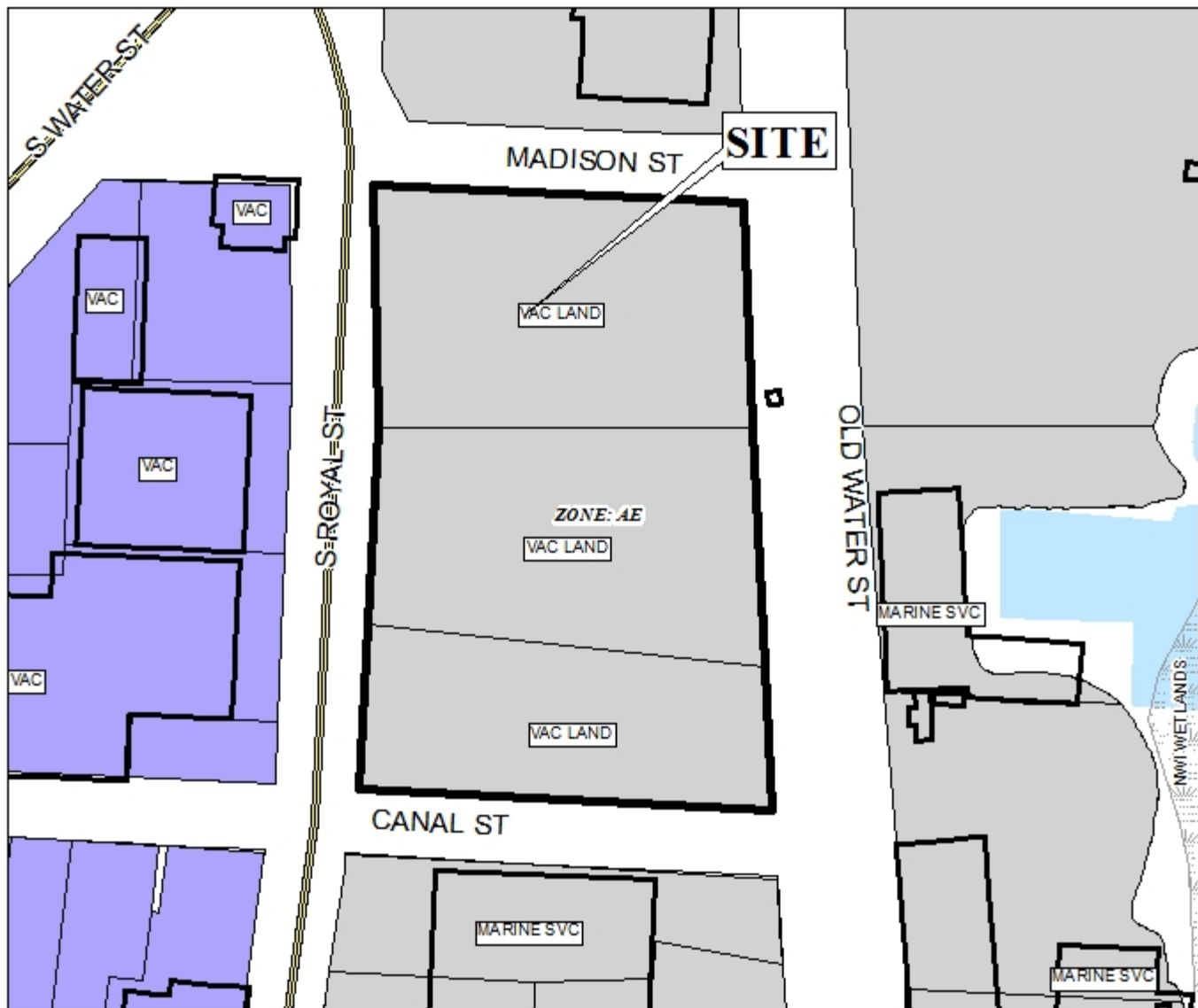
- 8) compliance with Fire comments: *“All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile”; and*
- 9) compliance with Traffic Engineering comments: *“Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards”;*
- 10) compliance with Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)”.*

Sidewalk Waiver: Based upon the preceding, it is recommended that this sidewalk waiver request be approved along both Madison and Canal Street.

[illegible]

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by industrial land use units.

APPLICATION NUMBER 28 & 29 DATE September 5, 2013
 APPLICANT Buffalo Marine Service, 14-Baroid Yard
 REQUEST Subdivision, Sidewalk Waiver Request

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

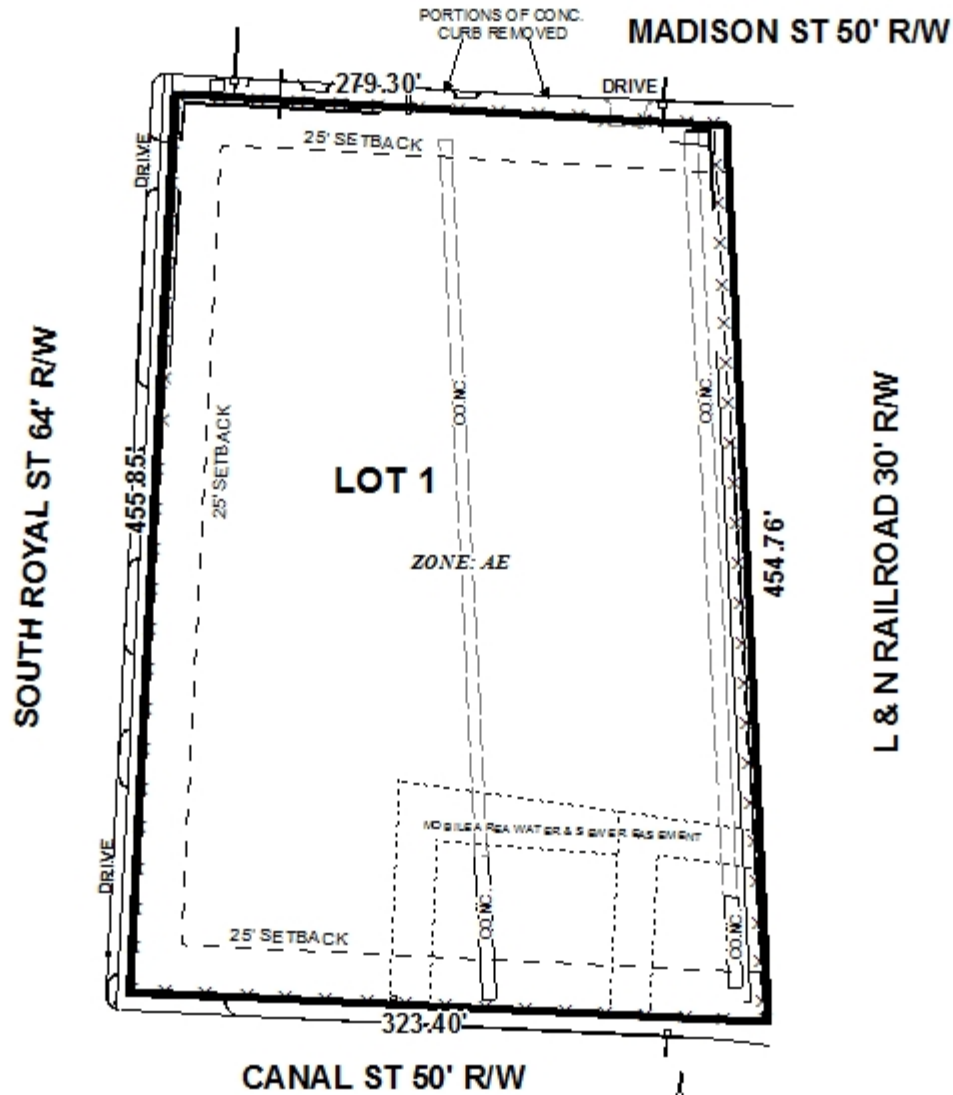


The site is surrounded by industrial land use units.

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SITE PLAN

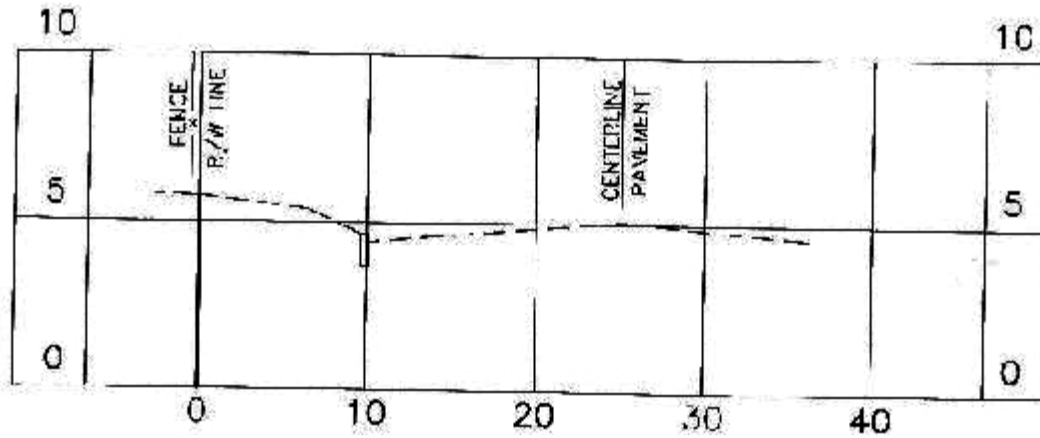


The site illustrates the setback, easement, fence, drives, and the floodzone for the location.

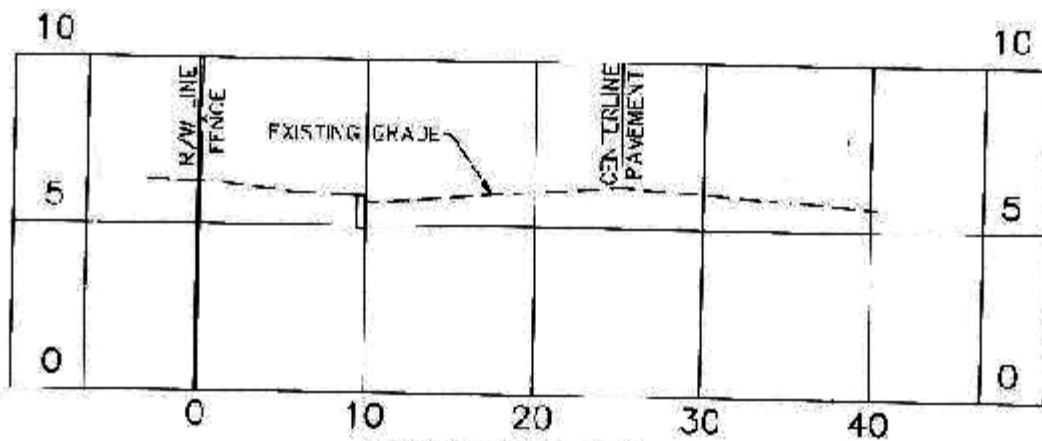
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DETAIL SITE PLAN



**SECTION A-A
CANAL STREET**



**SECTION B-B
MADISON STREET**

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