

## **VIRGINIA STREET SUBDIVISION**

Engineering Comments: Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

The plat illustrates the proposed 2.6± acre, 4 lot subdivision, which is located Northwest corner of Virginia Street and Conception Street, extending to the East side of Franklin Street, 155'± North of Virginia Street, and is in Council District 3. The site is served by public water and sanitary sewer.

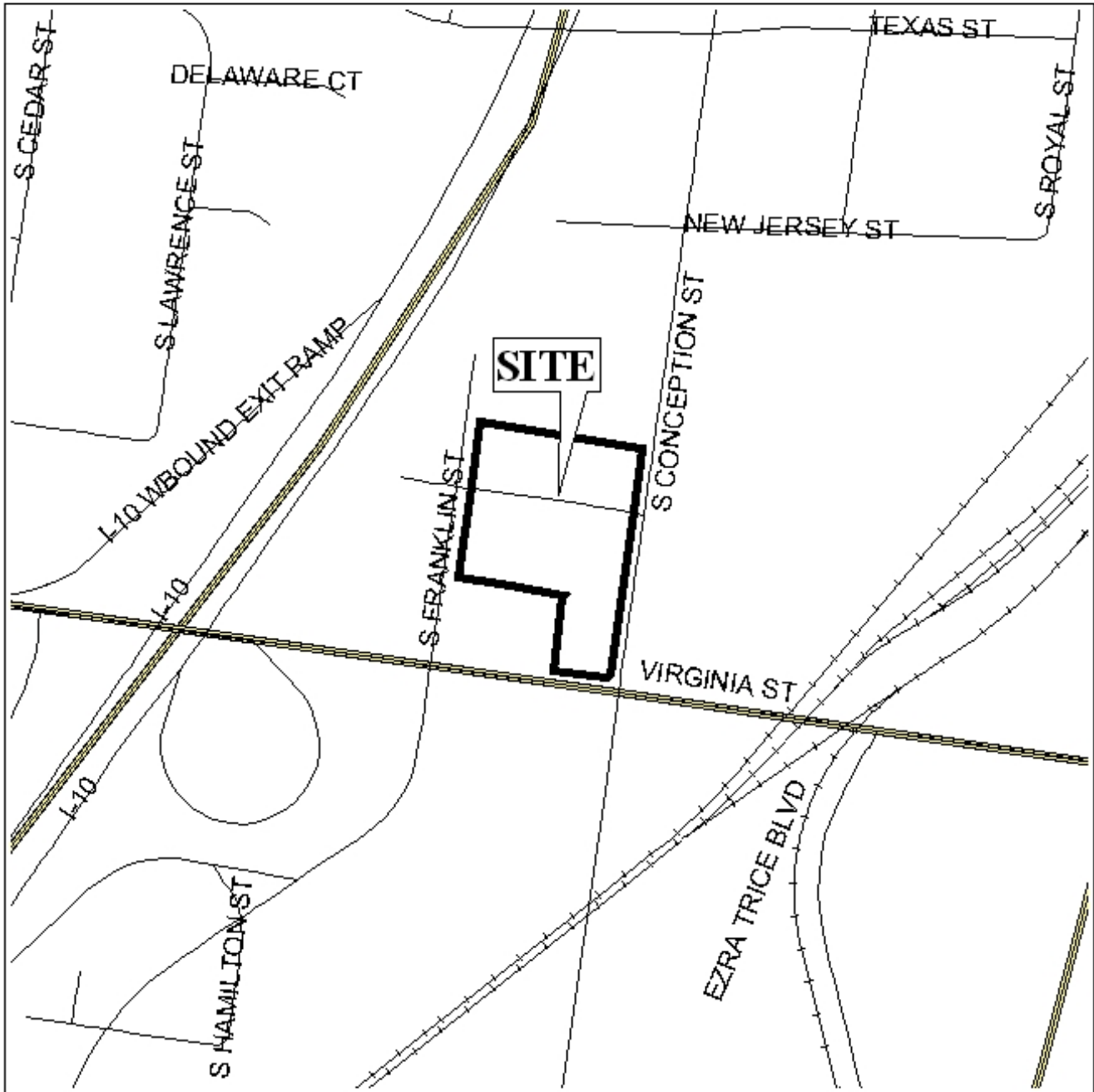
The purpose of the application is to subdivide several parcels into four lots of record.

The site fronts Franklin Street, Virginia Street, and Conception Street, all of which have 50' wide rights-of-way. However, Virginia Street is shown as a major street on the Major Street Plan and as such requires a 100' right of way; thus dedication of sufficient right-of-way to provide 50' from the centerline of Virginia Street should be required. As a means of access management, Lot 1 should be limited to one curb cut to Virginia Street. It should be noted that the portion of Maryland that formerly intersected the site has been vacated, and there is a 25' ingress and egress easement within the former right-of-way.

The 25' building setback line is not shown, but would be required on the final plat.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions: 1) the dedication of sufficient right-of-way to provide 50' from the centerline of Virginia Street; 2) the placement of a note on the final plat stating that Lot 1 is limited to one curb cut to Virginia Street, size, location, and design to be approved by Traffic Engineering; and 3) the depiction of the 25' building setback lines on the final plat.

# LOCATOR MAP



APPLICATION NUMBER 28 DATE April 21, 2005  
APPLICANT Virginia Street Subdivision  
REQUEST Subdivision

N  
NTS

# VIRGINIA STREET SUBDIVISION



APPLICATION NUMBER 28 DATE April 21, 2005

LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	L-1	L-2
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