

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: July 5, 2012****DEVELOPMENT NAME**

McRee Place Subdivision

**SUBDIVISION NAME**

McRee Place Subdivision

**LOCATION**3916 Old Shell Road  
(Northeast corner of Old Shell Road and Provident Lane)**CITY COUNCIL****DISTRICT**

District 7

**AREA OF PROPERTY**

4 Lots / 1.3± Acres

**CONTEMPLATED USE**

Planned Unit Development Approval to allow a private street subdivision with reduced front and side yard setbacks and increased site coverage, and Subdivision approval to create four legal lots of record from an existing metes and bounds parcel.

**TIME SCHEDULE****FOR DEVELOPMENT**

Immediately.

**ENGINEERING****COMMENTS**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3. A complete set of construction plans for the site work (including drainage, utilities, grading, stormwater systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work. 4. Drainage easements may be required to allow for existing and proposed runoff from the lots to the proposed Common Area (Detention). 5. Based on the existing GIS topographic information it appears that any discharge from the site will cross private residential properties to the East. Therefore, care needs to be taken to ensure no damage is caused to downstream properties. At a minimum detention for the 100 year storm event with a release rate for the 2 year storm must be provided; or, a recorded release agreement will be required from the downstream property(ies). 6. Sidewalk will be required along the frontage of Provident Lane unless a sidewalk waiver is obtained.

**TRAFFIC ENGINEERING****COMMENTS**

Proposed McRee Lane should be constructed with proper corner turning radii on both corners of the new roadway. Curb-cuts for Lots 1-4 should be limited to one each, with access only from McRee Lane; size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow a private street subdivision with reduced front and side yard setbacks and increased site coverage, and Subdivision approval to create four legal lots of record from an existing metes and bounds parcel. The site is located in Council District 7, and according to the applicant is served by public water and sanitary sewer.

The site currently contains a single-family dwelling which is proposed to be removed. Each of the four proposed lots would front on a private street. Since a private street is proposed and the lots are proposed to have reduced front and side yard setback, and increased site coverage allowance, Planned Unit Development Approval is required.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lots, as depicted, meet the minimum size and frontage requirements as regulated by the Subdivision Regulations. The proposed 10-foot minimum building setback line is depicted and should be shown on the Final Plat, if approved. Each lot is labeled with its size in square feet on the plat. The plat should be revised to label each lot with its size in both square

feet and acres, or a table should be furnished on the Final Plat providing the same information, if approved.

The site has frontages on Old Shell Road and Provident Lane. Old Shell Road is no longer classified as a major street; therefore, no right-of-way dedication would be required. Provident Lane is a minor street with varying right-of-way width along the site. As a 50' right-of-way would be required, dedication to provide 25' from the centerline of Provident Lane would be required, or revision of the plat to indicate such currently exists. Revision of the size of the detention area may be necessary due to the dedication. The plat does indicate dedication is proposed along Provident Lane, but no dimension is provided. Also the proposed 10' side yard setback along Provident Lane is measured from the existing right-of-way line; therefore, the side yard setback line along Provident Lane should be revised to be measured from any required dedication. As per the Traffic Engineering comments, corner radii at the intersection of proposed McRee Lane and Provident Lane should be provided. Therefore, the plat should be revised to dedicate a 25' corner radius at the intersection of McRee Lane and Provident Lane. Dedication should also be required to provide a 25' corner radius at the intersection of Old Shell Road and Provident Lane. A note should be required on the Final Plat stating that each lot is limited to one curb cut to McRee Lane, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Also, a note should be required on the Final Plat stating that Lots 1 and 4 are denied access to Provident Lane. As McRee Lane would be a private street, a note would be required on the Final Plat stating that maintenance of the private street and all common areas is the responsibility of the property owners.

As proposed, each lot will meet the minimum lot size of 7,200 square feet, with 10,909 square feet being the smallest of the four lots, before any required dedication. The lots are larger than some of those adjacent and within the immediate neighborhood, so the proposed subdivision would be compatible with the area. As far as the reduced side street setbacks of 10' along Provident Lane, proposed Lots 1 and 4 have adequate width and area to allow a 20' side street setback (the standard for a lot 60' or wider) along the public street. Therefore, the plat and site plan should be revised to indicate a 20' setback off Provident Lane, after any required dedication. The proposed 10' front yard setback off the private street and the 5' setback off the interior side yards would be justified under the innovative design allowances of Section VIII.C. of the Subdivision Regulations.

With regard to the proposed private street, it should be noted that McRee Lane does not appear to meet minimum Fire Code requirements. A 48' right-of-way is indicated; however, Section VIII.E.2.c of the Subdivision Regulations requires a 50' right-of-way, but Section VIII.B. allows for modification if unusual difficulties or exceptional and undue hardship would be imposed by the standard. In this instance, no difficulties seem to be imposed as the lot sizes are large enough to allow the full 50' right-of-way. Therefore, the plat and site plan should be revised to indicate a 50' right-of-way for the private street and compliance with IFC requirements. The proposed one-lane drive pavement width of 11' is allowed by Section VIII.E.2.c of the Regulations, but the site plan should be revised to indicate a one-way traffic circulation with the Southern curb cut marked as "in", and the Northern curb cut marked as "out".

No gates are indicated on the site plan for the private street. If gates are proposed, they should be indicated on the site plan meeting the vehicle stacking requirements of Section 64-4.F.2. of the Zoning Ordinance. If the development is to have a perimeter fence or wall, such should be

shown on the site plan. Compliant public sidewalks should be indicated along Old Shell Road and Provident Lane, or a Sidewalk Waiver application should be submitted. The building footprints should also be removed from the site plan.

Regarding the increased building site coverage to 50%, the detention area capacity should be certified to be able to handle the increased run-off after the revision of the detention area following any required frontage dedications. A note should be required on the Final Plat and site plan stating that each lot is limited to 50% maximum site coverage by all structures.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Two copies of a revised site plan incorporating all conditions of approval for the PUD should be furnished to Planning prior to signing the Final Plat for the Subdivision.

Due to the numerous revisions of the plat and site plan required in order for staff to conduct an accurate review of the proposed subdivision and PUD, it is recommended that both applications be heldover to the meeting of August 2<sup>nd</sup> to allow the applicant to submit such revisions.

## **RECOMMENDATION**

**Subdivision:** Based on the preceding, the subdivision is recommended for holdover to the August 2<sup>nd</sup> meeting to allow the applicant to revise the plat to address the following items:

- 1) revision of the plat to label each lot with its size in square feet and acres, after any required dedication, or the furnishing of a table on the plat providing the same information;
- 2) revision of the plat to indicate any required dedication to provide 25' from the centerline of Provident Lane, or revision of the plat to indicate such currently exists;
- 3) revision of the plat to illustrate a 20' side yard setback for Lots 1 and 4 along Provident Lane, as measured from any required dedication;
- 4) revision of the plat to indicate dedication of 25' corner radii at the intersection of McRee Lane and Provident Lane;
- 5) revision of the plat to indicate dedication to provide a 25' corner radius at the intersection of Old Shell Road and Provident Lane; and
- 6) revision of the plat to indicate a 50' right-of-way for McRee Lane, in compliance with Section VIII.E.2.c of the Subdivision Regulations, and showing the private street in compliance with IFC requirements.

**Planned Unit Development:** Based upon the preceding, the PUD application is recommended for holdover to the August 2<sup>nd</sup> meeting to allow the applicant to revise the site plan to address the following items:

- 1) revision of the site plan to illustrate the site configuration after any required street frontage dedications;

- 2) revision of the site plan to illustrate a 20' building setback line for Lots 1 and 4 off Provident Lane, after any required dedication;
- 3) verification that the detention area can accommodate the increased site coverage after losing any area from required dedications;
- 4) revision of the site plan to indicate a 50' right-of-way for McRee Lane, in compliance with Section VIII.E.2.c of the Subdivision Regulations, and showing the private street in compliance with IFC requirements;
- 5) revision of the site plan to indicate gates, if planned, on the private street meeting the vehicle stacking requirements of Section 64-4.F.2. of the Zoning Ordinance;
- 6) revision of the site plan to illustrate a perimeter fence or wall, if planned;
- 7) revision of the site plan to illustrate compliant public sidewalks along Old Shell Road and Provident Lane, or the submittal of a Sidewalk Waiver application; and
- 8) revision of the site plan to omit the building footprints.

# LOCATOR MAP



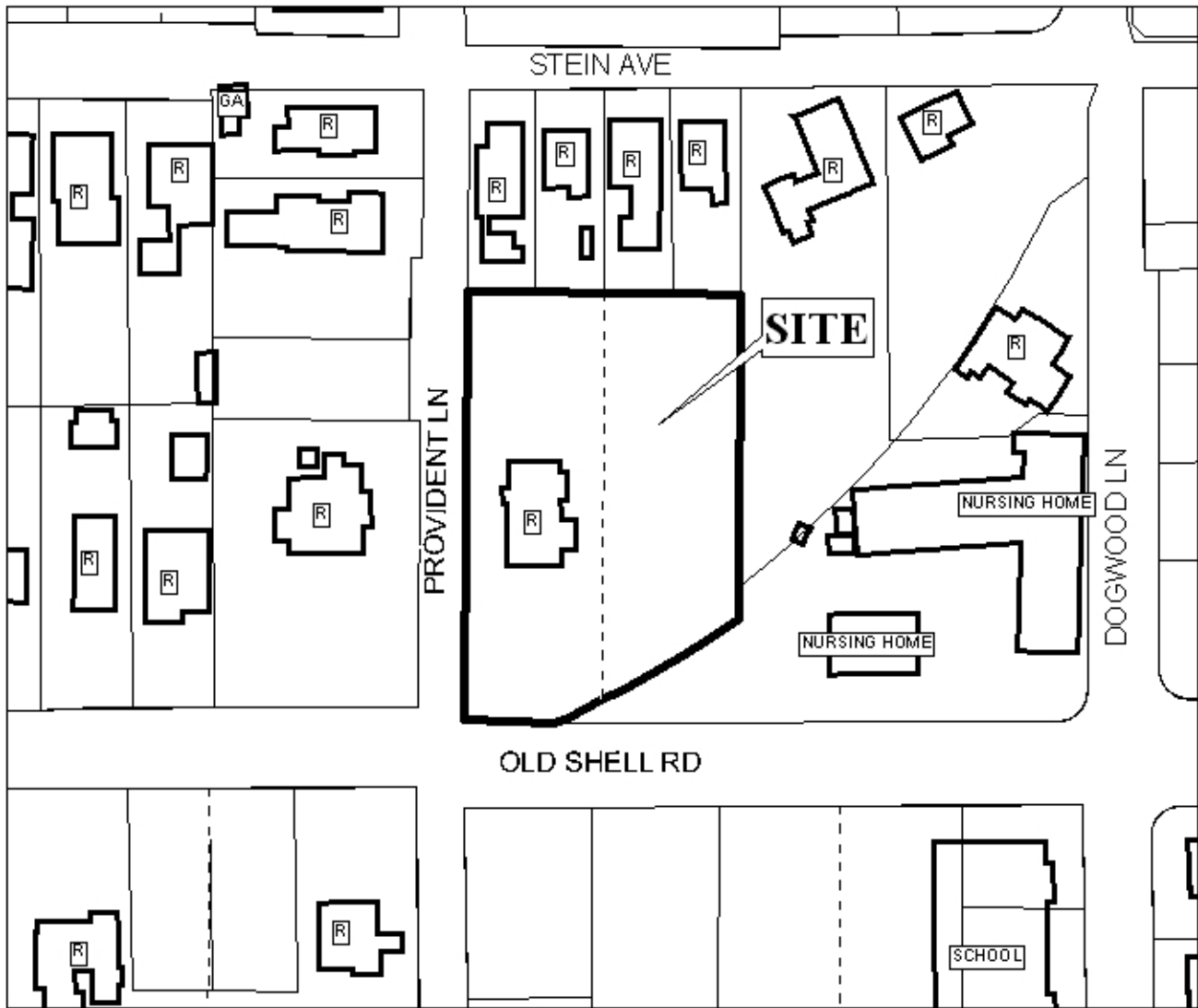
APPLICATION NUMBER 27 & 28 DATE July 5, 2012

APPLICANT McRee Place Subdivision

REQUEST Subdivision, Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Residential units are located to the west and north of the site.  
A nursing home is located to the east of the site. A school is  
located to the south of the site.

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LEGEND 

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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 NTS



## PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



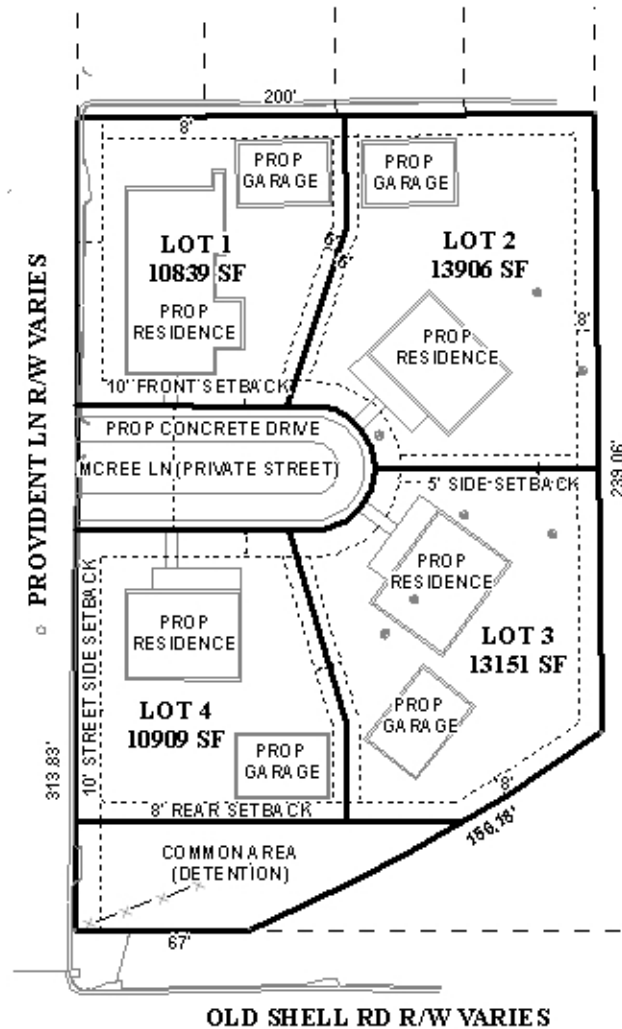
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## SITE PLAN



The site plan illustrates the proposed private street subdivision.

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