

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: May 7, 2009**

<b><u>DEVELOPMENT NAME</u></b>	Executive Plaza Subdivision, Resubdivision of Lot 1
<b><u>SUBDIVISION NAME</u></b>	Executive Plaza Subdivision, Resubdivision of Lot 1
<b><u>LOCATION</u></b>	3812 Spring Hill Avenue (North side of Spring Hill Avenue at the North terminus of McGregor Avenue North).
<b><u>CITY COUNCIL DISTRICT</u></b>	District 7
<b><u>PRESENT ZONING</u></b>	B-2, Neighborhood Business District
<b><u>AREA OF PROPERTY</u></b>	1 Lot / 1.3± Acres
<b><u>CONTEMPLATED USE</u></b>	Planned Unit Development approval to allow two buildings on a single building site, and Subdivision approval to create one legal lot from an existing legal lot and a metes-and-bounds parcel.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediately
<b><u>ENGINEERING COMMENTS</u></b>	Discharge from development will require either 100 yr detention with a 2 yr release rate, release agreement or private drainage easement. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Drainage from any newly constructed dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.
<b><u>TRAFFIC ENGINEERING COMMENTS</u></b>	Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. There is not adequate maneuvering space for the parallel parking spaces as shown. If vehicles parked facing north there is not adequate space to maneuver into or out of the northern most space and there is not adequate aisle width to turn around to exit the parking area. If the vehicles parked facing south, there is not adequate aisle space to turn around to park in the spaces. Changes should be made to eliminate the spaces.
<b><u>URBAN FORESTRY COMMENTS</u></b>	Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

Per 2003 IFC – 508.5.1 – Fire Hydrants. Per 2003 IFC – Appendix C and D – Fire Hydrant Spacing and Access.

**REMARKS**

The applicant is requesting Planned Unit Development approval to allow two buildings on a single building site, and Subdivision approval to create one legal lot from an existing legal lot and a metes-and-bounds parcel.

The existing site contains one building with associated parking and an additional building and parking expansion are proposed. Approximately one-half of the overall site will remain undeveloped at this time.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts onto Spring Hill Avenue, a major street, with a right-of-way illustrated as 60', and is bordered on the East by the proposed McGregor Avenue Extension, also a major street. Both streets are planned for a 100' right-of-way on the Major Street Plan. Since Spring Hill Avenue is an open street, dedication to provide 50' as measured from the centerline of Spring Hill Avenue would be required, with the minimum building setback line measured from the dedicated right-of-way. However, requiring dedication along the East side of the site would effectively eliminate any access to the rear of the existing building and negate any possible expansion plans. City Engineering has indicated that the proposed McGregor Avenue Extension to the North of Spring Hill Avenue is not under consideration at this time for construction. Therefore, the dedication requirement should be waived, but a minimum building setback line along the East side of the property should be indicated on the plat as measured from the future right-of-way line of the proposed McGregor Avenue Extension. At such time that the extension is constructed, existing access to the rear of the site lost via the new street construction would be afforded directly from the new street. The current proposed site development should be limited to one curb cut onto Spring Hill Avenue, with the size, design and location to be approved by Traffic Engineering, and conform to AASHTO standards.

The site plan illustrates the current 3,600 square-foot office building and associated parking, and the proposed 3,600 square-foot office building and expanded parking. No dumpster or other

waste receptacle or associated maneuvering area is indicated on the site plan. As the project consists of over 50% facilities expansion, proposed landscaping and tree plantings and existing public sidewalk are all indicated.

The site is adjacent to residential zoning on all three off-street faces and would be subject to buffer requirements. However, since the site to the East is vacant and totally in the path of the McGregor Avenue Extension and no development would be allowed on it as such, buffering along the East side of the site would be impracticable. If that property were to be deleted from the path of the proposed McGregor Avenue Extension and considered to be developable, then buffering should be required. In order to further minimize the impact of the site on nearby residential uses, any on-premise lighting must comply with Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance; specifically lighting must not shine directly into adjacent residential properties or into traffic, and parking areas must be illuminated during their operation at night, if applicable.

The plat should be revised to indicate the lot size in square feet and acres, after required dedication, or a table should be furnished on the final plat providing the same information. As the submitted site plan would be impacted by the required dedication along Spring Hill Avenue resulting in the loss of a portion of the parking, landscaping and tree planting areas, it should be revised to reflect such. Also, Traffic Engineering has expressed concerns relating to the lack of maneuvering area for the parallel parking spaces on the East side of the property. Since the site plan must be revised to allow for the frontage dedication and the loss of front area parking, the overall parking arrangement should be revised to satisfy those concerns. Two copies of a revised PUD site plan should be submitted and approved prior to the signing of the final plat for the subdivision.

### **RECOMMENDATION**

**Subdivision:** Based upon the preceding, this application is recommended for holdover to the meeting of July 2<sup>nd</sup>, with revisions due by June 15<sup>th</sup>, to allow the applicant to address the following:

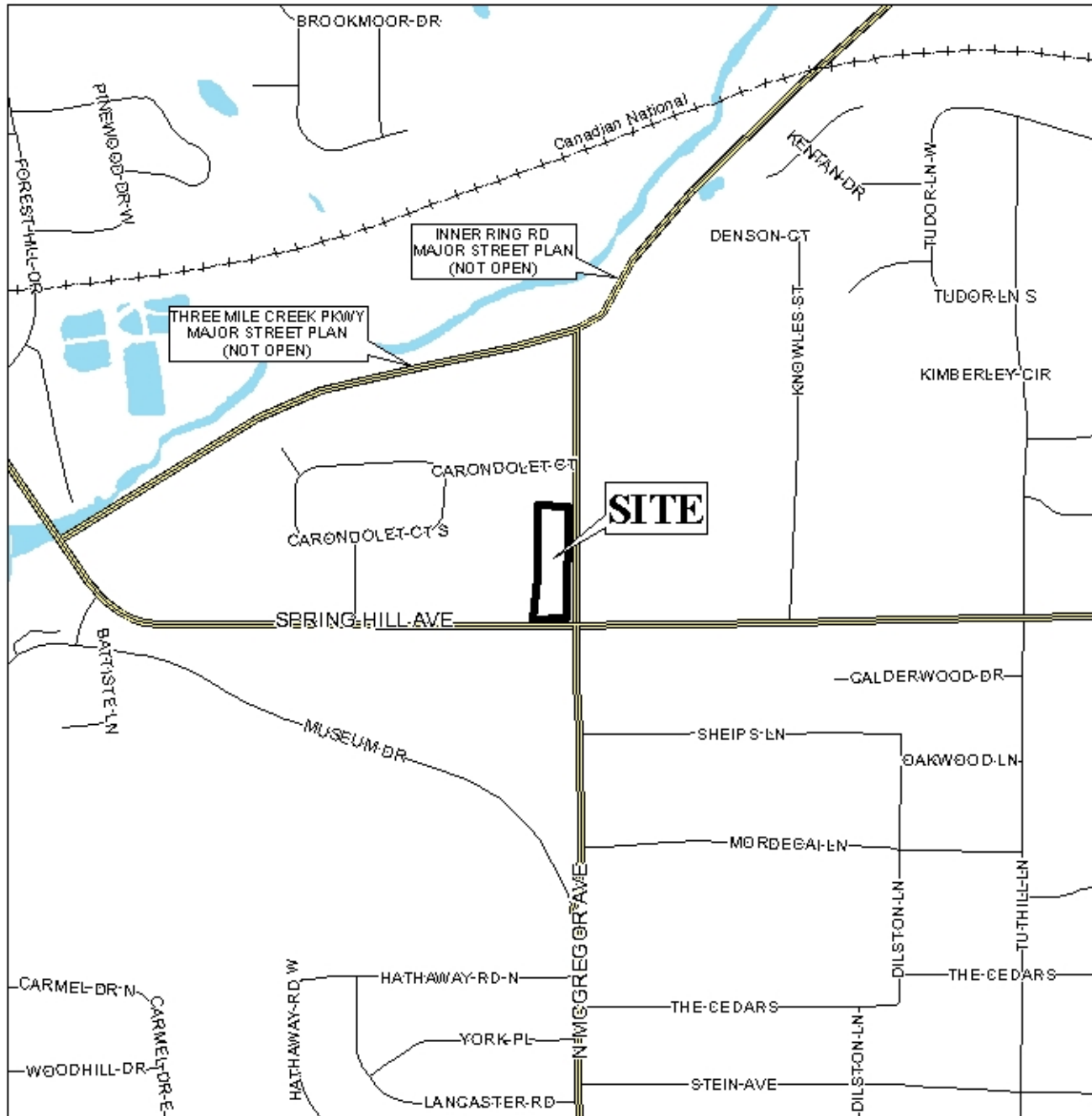
- 1) revision of the plat to indicate the dedications which would be required along Spring Hill Avenue and the proposed McGregor Avenue Extension;
- 2) revision of the plat to depict the 25' minimum building setback line along both street frontages following any required dedications; and
- 3) revision of the plat to indicate the lot size in square feet and acres, after any required dedication, or the furnishing of a table on the plat providing the same information.

**Planned Unit Development:** Based upon the preceding, this application is recommended for holdover to the meeting of July 2<sup>nd</sup>, with revisions due by June 15<sup>th</sup>, to allow the applicant to address the following:

- 1) revision of the site plan to indicate the buildable site after any required dedications along Spring Hill Avenue and the proposed McGregor Avenue Extension;

- 2) revision of the site plan to indicate a dumpster or waste receptacle with proper screening, setbacks and vehicular access/maneuvering, or the placement of a note on the site plan that there will be no on-site waste pick-up and only curb-side pick-up;
- 3) revision of the site plan to indicate a buffer, in compliance with Section 64-4.D.1. of the Zoning Ordinance, where the site abuts residentially zoned properties to the North and West; and
- 4) revision of the site plan to compensate for the loss of existing parking, landscaping and tree plantings toward Spring Hill Avenue due to any required dedication and to satisfy the Traffic Engineering concerns relating to the parallel parking, and to show any further expanded parking area needed for site area lost to dedication requirements.

# LOCATOR MAP



APPLICATION NUMBER 27 & 28 DATE June 4, 2009

APPLICANT Executive Plaza Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, Planned Unit Development

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by miscellaneous land use.

APPLICATION NUMBER 27 & 28 DATE June 4, 2009

APPLICANT Executive Plaza Subdivision, Resubdivision of Lot 1

REQUEST Subdivision, Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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N  
NTS



## PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

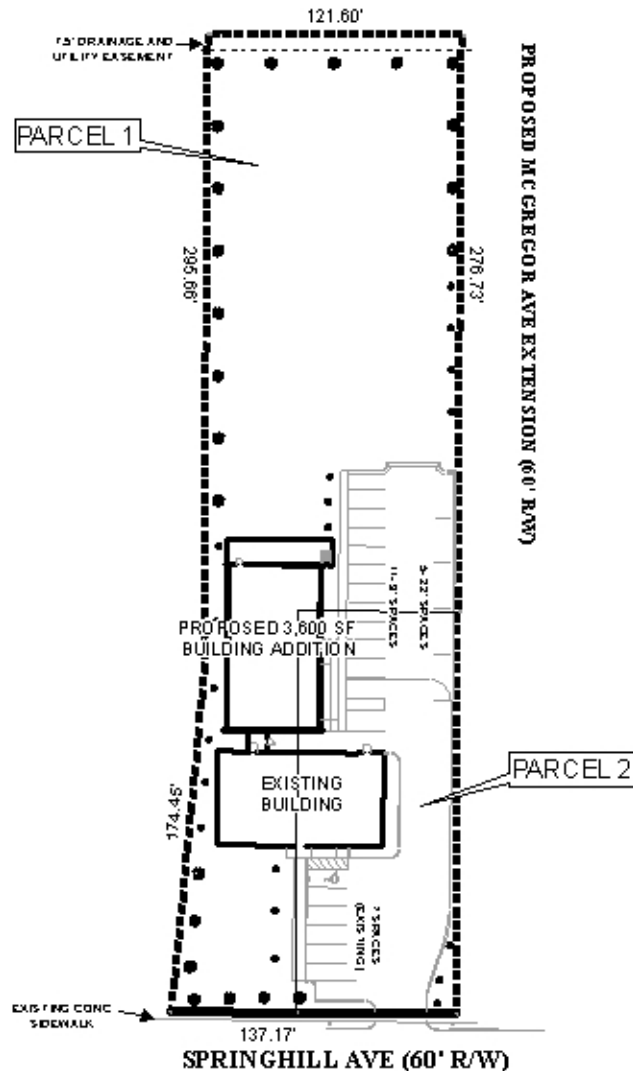


This site is surrounded by miscellaneous land use.

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N  
↑  
NTS

# SITE PLAN



This site plan illustrates the existing building with proposed addition.

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N  
  
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