PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT   Date: March 15, 2007

DEVELOPMENT NAME   The Woodlands at The Preserve Subdivision,
Resubdivision of Lot 27

SUBDIVISION NAME   The Woodlands at The Preserve Subdivision,
Resubdivision of Lot 27

LOCATION   North side of Rue Royal, 1250'± North of Rue Preserve

**CITY COUNCIL
DISTRICT**   District 6

PRESENT ZONING   R-1, Single-Family Residential

AREA OF PROPERTY   1 Lot/ 0.1± acres

CONTEMPLATED USE   Amend Planned Unit Development (PUD) Approval to allow an
increase in site coverage from 45% to 55%.

**TIME SCHEDULE
FOR DEVELOPMENT**   Immediately

**ENGINEERING
COMMENTS**   Be sure detention system can handle the additional impervious area
from additional site coverage and for any and all other increases in site coverage. Must comply with all
storm water and flood control ordinances. Any work performed in the right of way will require a right of
way permit.

**TRAFFIC ENGINEERING
COMMENTS**   Driveway number, size, location, and design to be approved by Traffic
Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**   Property to be developed in compliance with state and local laws that
pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City
Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS**   No Comments.

REMARKS   The applicant is requesting an amendment to the existing PUD to
allow increased site coverage.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along

minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. <u>PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission</u>.
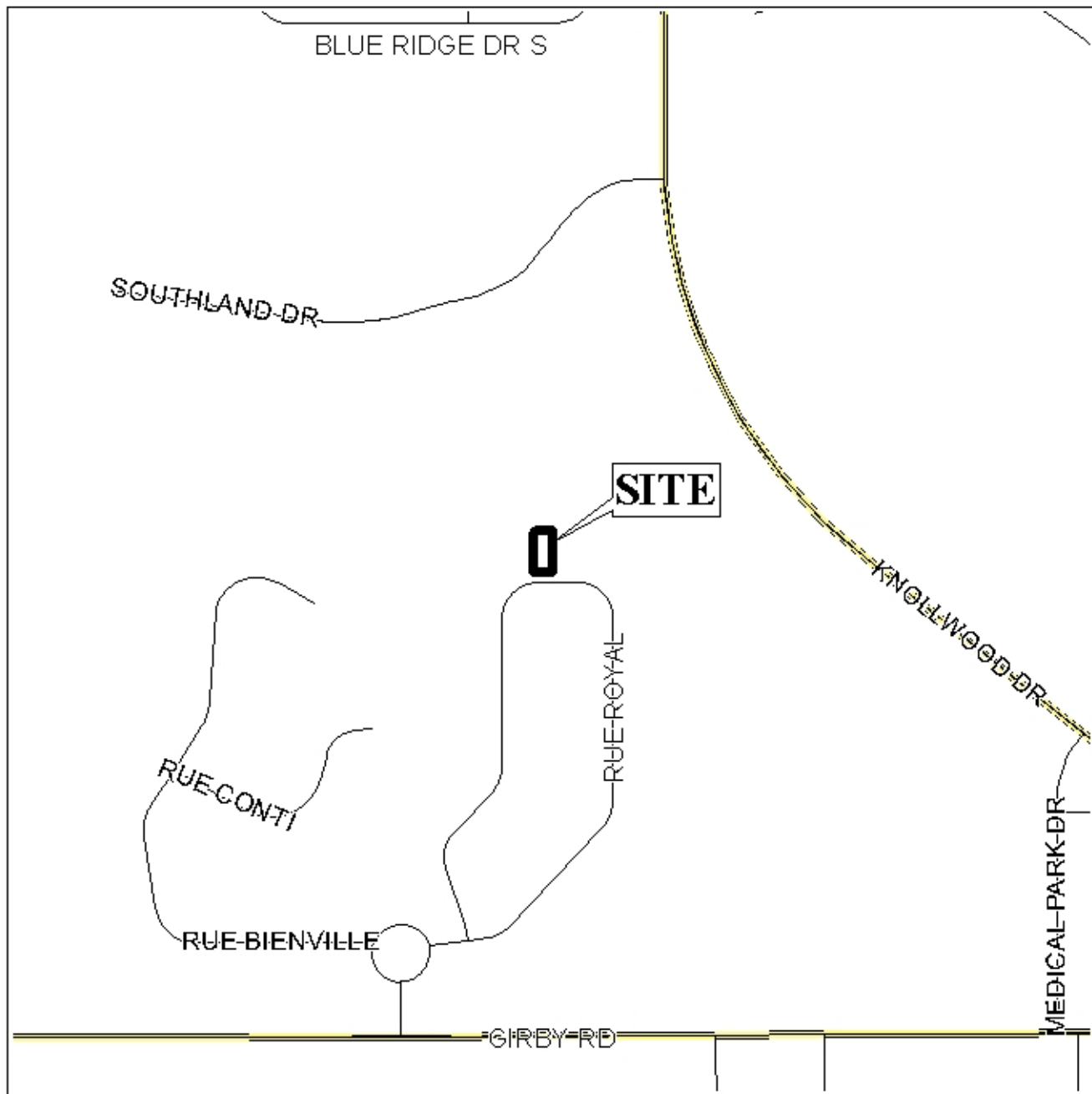
There have been several amendments to The Woodlands at the Preserve Subdivision with regard to modifications to the previously approved setbacks. However, those approvals did not require submission of documentation that the existing drainage system/detention was adequate to handle the increased site coverage requested.

With the approval of this application for increased site coverage, documentation should be provided that the existing storm water system is adequate.

RECOMMENDATION   **Subdivision** Based on the preceding, this application is recommended for Tentative Approval, subject to the following condition: 1) submission of documentation that the existing storm water facilities are adequate to handle the increased site coverage, to be approved by City Engineering Department prior to signing of the final plat.

Planned Unit Development Based on the preceding, this application is recommended for Tentative Approval, subject to the following condition: 1) submission of documentation that the existing storm water facilities are adequate to handle the increased site coverage, to be approved by City Engineering Department prior to signing of the final plat.

LOCATOR MAP

BLUE RIDGE DR S

SOUTHLAND DR

KNOLLWOOD DR

SITE

RUE ROYAL

RUE CONTI

MEDICAL PARK DR

RUE BIENVILLE

GIRBY RD

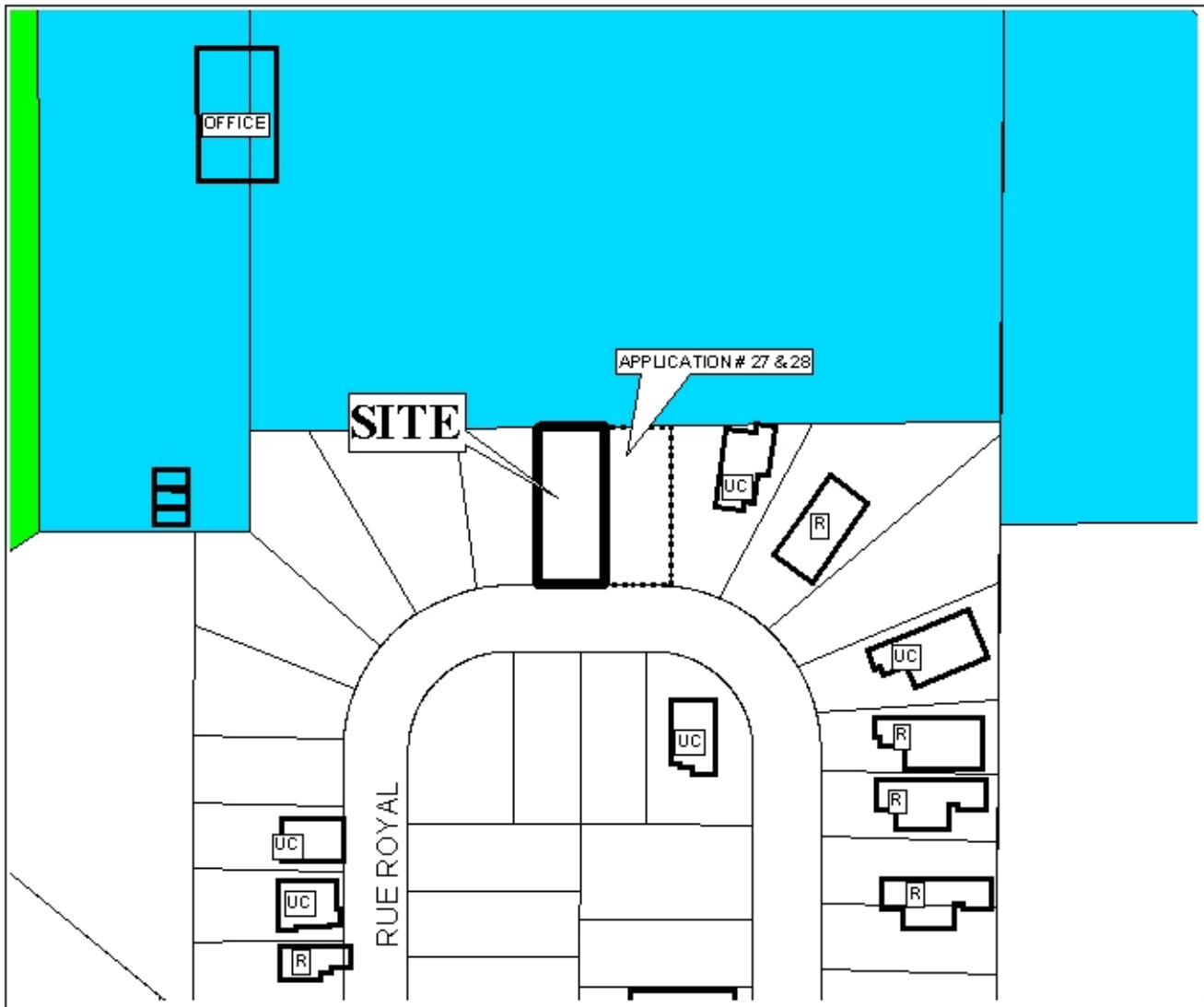APPLICATION NUMBER __25 & 26__ DATE __March 15, 2007__

APPLICANT __The Woodlands at the Preserve Subdivision, Resubdivision of Lot 27__

REQUEST __Subdivision, Planned Unit Development__

N

NTS

PLANNING COMMISSION
VICINITY MAP - EXISTING ZONING

OFFICE

APPLICATION # 27 & 28

SITE

UC

R

UC

UC

R

R

RUE ROYAL

UC

R

UC

R

An office is located to the north of the site. Single-family residential units are located to the south and east of the site.

APPLICATION NUMBER ___25 & 26___ DATE ___March 15, 2007___

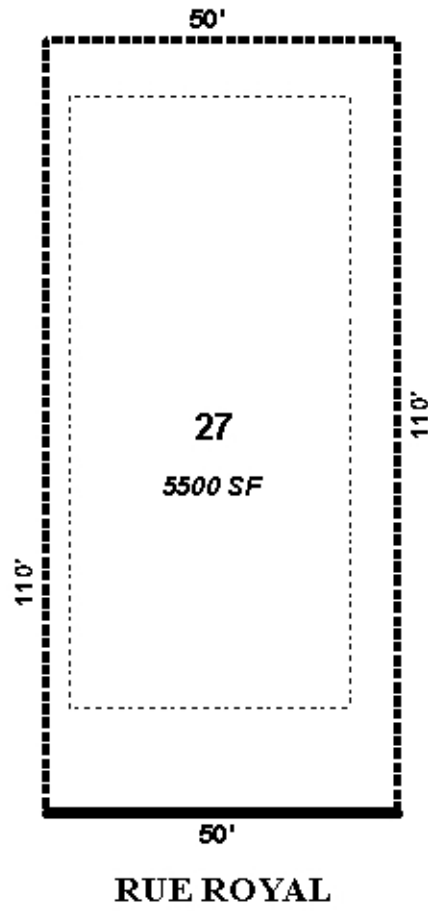APPLICANT ___The Woodlands at the Preserve Subdivision, Resubdivision of Lot 27___

REQUEST ___Subdivision, Planned Unit Development___

N

LEGEND

| R-1 | R-2 | R-3 | R-A | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |

NTS

SITE PLAN

50'

110'

27

5500 SF

110'

50'

RUE ROYAL

The site plan illustrates the existing lot configuration and building setbacks

N

NTS