

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: June 5, 2008**

**DEVELOPMENT NAME** Springhill Place Subdivision, Revised

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**LOCATION** West side of Bishop Lane North, 100'± North of Broadway Street (not open).

**CITY COUNCIL DISTRICT** District 7

**AREA OF PROPERTY** 8-lots/2.8± acres

**CONTEMPLATED USE** Planned Unit Development Approval to allow reduced side yard setbacks in a single-family subdivision, and Subdivision Approval to create 8 lots.

**TIME SCHEDULE FOR DEVELOPMENT** Immediate.

**ENGINEERING  
COMMENTS**

The west end of Broadway Street (from Wacker Lane to the east side of Lot 3) will be required to be improved to City standards by the developer. The capacity and functionality of the existing detention system will need to be verified and calculations be submitted to the City Engineering Department. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added in excess of 4,000 square feet.

**TRAFFIC ENGINEERING  
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the 70" Live Oak Tree located on the West side of Lot 6. Any work on or under this tree is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

**FIRE DEPARTMENT  
COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile,

and the 2003 International Existing Building Code, as appropriate. Shall comply with Section 508.5.1 of the 2003 IFC.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow reduced side yard setbacks in a single-family subdivision, and Subdivision Approval to create 8 lots. The site is located in Council District 7, and according to the applicant is served by public water and sanitary sewer.

This site was originally approved as an 8-lot residential subdivision in 2007 and Lot 1 of this subdivision was developed and has been excluded from the Subdivision and PUD before the Commission. The applicant is now requesting Subdivision and PUD approval to allow the subdivision to become a Planned Unit Development (PUD) with reduced side yard setbacks on seven of the originally platted lots.

As illustrated on the preliminary plat Bishop Lane, has an existing right-of-way of 50-foot; sufficient right-of-way is shown for Broadway Street. Therefore, no dedication would be required.

As a means of access management, a note should be placed on the final plat stating that all lots are limited to one curb cut each with the size, location, and design of each to be approved by Traffic Engineering and conform to AASHTO standards.

The applicant has not requested to exceed the density requirements of the Zoning Ordinance; therefore, a note should be required on the Final Plat and site plan stating that 35 percent site coverage is the maximum allowed.

The lot sizes in square feet, at a minimum, should also be depicted on the Final Plat and site plan, or a table provided furnishing the same information, if approved.

It should be noted that while the subdivision is proposed as a five-foot side yard setback subdivision, any air conditioning unit over 3' in height will still be required to meet the setbacks.

Finally, the geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

**RECOMMENDATION**

**Subdivision:** Based on the preceding, the application is recommended for approval subject to the following conditions:

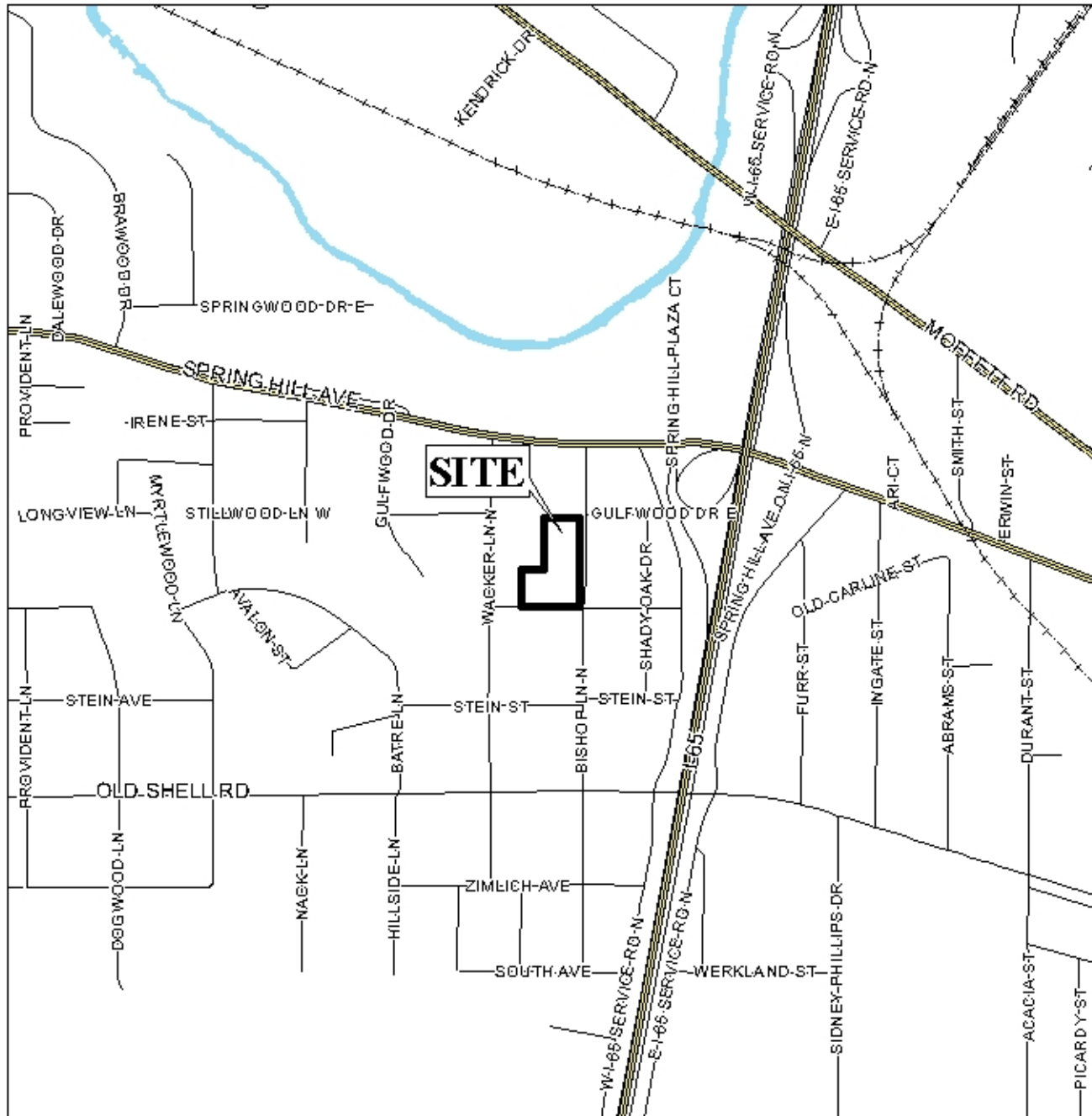
- 1) placement of a note on the final plat stating that all lots within the development are limited to one curb cut each with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) labeling of the lot size in square feet and the maximum site coverage (35%) of each lot, or a table provided furnishing the same information, on the Final Plat;
- 3) provision of submitting two copies of the revised PUD site plan prior to signing of the Final Plat; and

- 4) placement of a note on the plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) labeling of the lot size in square feet and the maximum site coverage (35%) of each lot, or a table provided furnishing the same information, on the PUD site plan;
- 2) placement of a note limiting each lot to one curb cut; and
- 3) provision of submitting two copies of the revised PUD site plan prior to signing of the Final Plat.

## LOCATOR MAP



APPLICATION NUMBER 25 & 26 DATE July 16, 2009

APPLICANT Revised Springhill Place Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by residential land use  
with business land use to the north and east.  
Lot 1 is not included in the planned unit development.

APPLICATION NUMBER 25 & 26 DATE July 16, 2009

APPLICANT Revised Springhill Place Subdivision

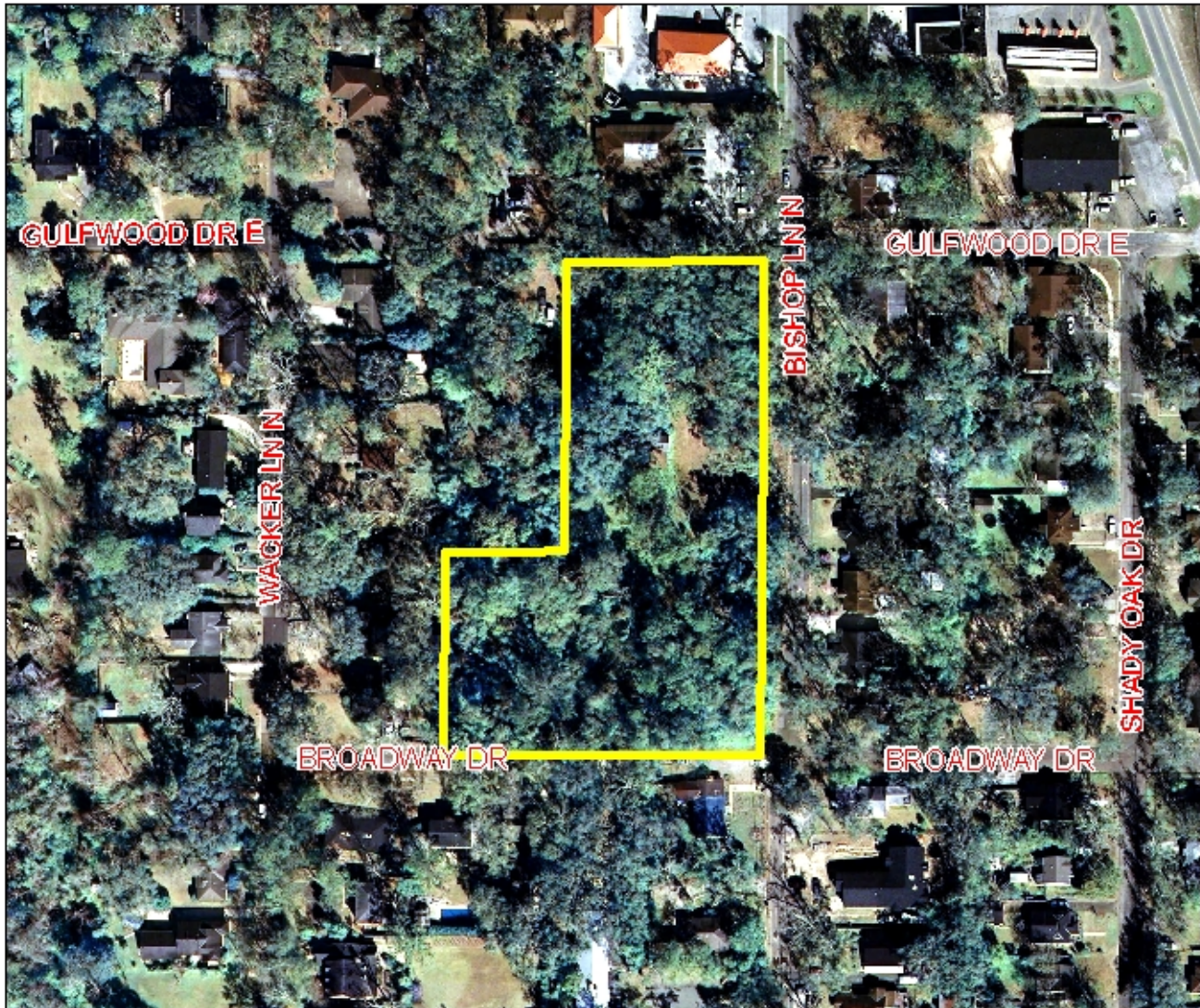
REQUEST Subdivision, Planned Unit Development

LEGEND 

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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## PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

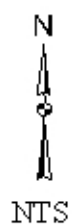


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with business land use to the north and east.

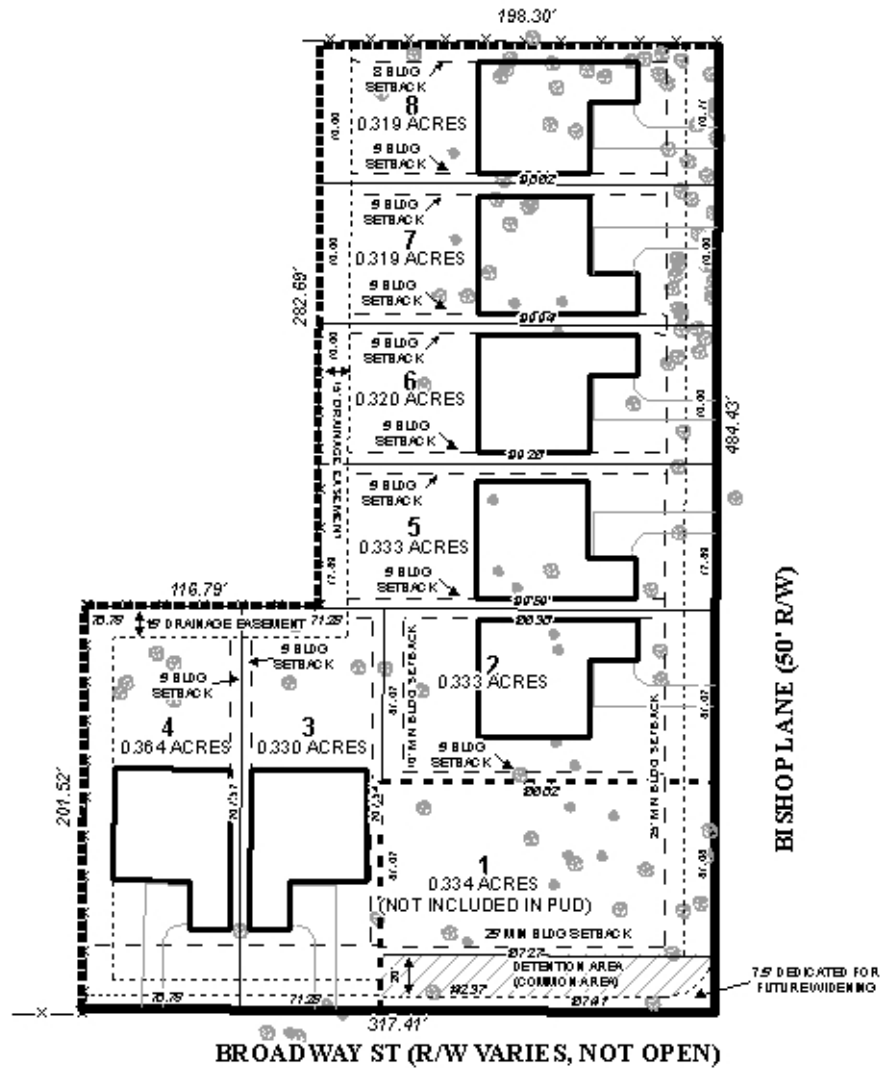
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# SITE PLAN



This site plan illustrates proposed structures and lot configuration.  
 Lot 1 is not included in the planned unit development.

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N  
  
 NTS