

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: September 6, 2012**

DEVELOPMENT NAME Schillinger Towne Centre Subdivision, Resubdivision of Lot 4

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LOCATION 595 & 685 Schillinger Road
(South side of Thomas Road, 240'± East of Schillinger Road South extending to the North side of Old Government Street Road, 240'± East of Schillinger Road South)

**CITY COUNCIL
DISTRICT** District 6

AREA OF PROPERTY *Subdivision: 2 lots/26.8± Acres*
Planned Unit Development: 5 lots/29.9± Acres

CONTEMPLATED USE Subdivision approval to create two legal lots of record from a legal lot of record and Planned Unit Development Approval to allow shared access and parking between multiple building sites.

**TIME SCHEDULE
FOR DEVELOPMENT** Existing development.

**ENGINEERING
COMMENTS** Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Curb-cuts should be limited to the existing curb-cuts on all three roadway frontages. Taking into consideration an upcoming safety project on this section of the Schillinger Road corridor, the southern driveway should be limited to a right-in, right-out only driveway.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Subdivision approval to create three legal lots of record from an existing metes and bounds parcel; and Planned Unit Development Approval to allow shared access and parking between multiple building sites. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The proposed lots, as depicted, meet the minimum size and frontage requirements as regulated by the Subdivision Regulations. The 25-foot minimum building setback lines are depicted should be retained along ALL street frontages of all lots, if approved. The lot area sizes in square feet/acres are depicted on the preliminary plat, and this should be retained on the Final Plat, if approved.

As proposed, the interior lot line seems to bisect two existing structures at a common wall; therefore, the applicant should consult with the Building Code Official to comply with any building and/or fire codes.

The site fronts Schillinger Road South, a component of the Major Street Plan with a planned 100' right-of-way. As the preliminary plat illustrates Schillinger Road has a variable right-of-way along the site, dedication may be required. Therefore, the illustration of dedication sufficient right-of-way to provide 50-feet from the centerline of Schillinger Road South should be required. The site also has frontage along Thomas Road and Old Government Street Road, both minor streets with sufficient 50-feet rights-of-way.

The proposed Lot A, the northernmost lot provides four ingress/egress access points; two via Thomas Road (35-feet and 45-feet), one via Schillinger Road South (70-feet) and one internal via shared access to Lot 3, Schillinger Towne Centre Subdivision. Lot B provides six ingress/egress access points; three via Old Government Street Road (35-feet, 30-feet and 24-feet) one via Schillinger Road (30-feet), two internal via shared access to Lot 2, Schillinger Towne Centre Subdivision and one internal via shared access to Lot 1, Schillinger Towne Centre Subdivision. All drives are existing drives; therefore, no change to the circulation patterns to the public roads or internal circulation is proposed. As such, a note should be required on the Final Plat stating that the subdivision is limited to the existing curb cuts as stated in this paragraph, and if any changes to the existing curb cuts or if any new curb cuts are proposed, the size, design, and location must be approved by Traffic Engineering and conform to AASHTO standards. It should be noted that any changes or the creation of additional curb cuts may required a Traffic Impact Study.

However, the subdivision was approved at the August 1996 Planning Commission meeting subject to the following conditions. The site was originally developed prior to the annexation in September 2007; therefore, no PUD was required.

- 1) dedication of 10-feet of right-of-way along Schillinger Road in compliance with the Major Street Plan;
- 2) a limitation of curb cuts; specifically, two curb cuts to Schillinger Road, three curb cuts to Thomas Road to be located within the area which is to be improved to County standards, and four curb cuts to Old Government Street Road;
- 3) construction of a paved 20-foot road bed, with asphalt wings to County standards within the 50-foot right-of-way portion of Thomas Road;
- 4) the provision of a 6-foot privacy fence along the portion of the site which abuts residentially developed property;
- 5) dedication of angles at the two corners as shown on the preliminary plat; and
- 6) the provision of a 25-foot minimum building setback line along the street frontages.

Since the applicants proposed re-subdivision of Lot 4 was the catalyst for the submission of a PUD application and the site was completely built out prior to being within the corporate limits the recommended conditions of the previous subdivision approval requiring a 6' high fence along that portion of the site which abuts residentially developed property would still be applicable. The site plan indicates existing fence along this portion; however, it does not specify that the fence is a 6-foot high privacy fence. Therefore, the site plan should be revised to indicate a 6-foot privacy fence along the East property line. This fence should not be higher than 3-feet within the 25-foot minimum building setback lines. Permits will be required for any new fences.

City standard sidewalks are not indicated along Schillinger Road South, Thomas Road or Old Government Street Road; however, since this is a re-subdivision of a lot and no further development is proposed it would seem to be excessive to require sidewalks. The site plan does not indicate a dumpster or contain a note stating how trash pick-up is proposed. Therefore, the site plan should be revised to indicate a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, and with a compliant sanitary sewer connection, or a note should be placed on the site plan stating that trash collection will be curb-side pick-up or private pick-up service.

As illustrated on the site plan, 1,326 parking spaces are provided for the development which is in a B-3, Community Business District; however, no building square-footage is illustrated. The revised site plan should indicate this in a table for future reference.

The site plan does not depict existing landscaping areas or tree plantings. Since the site was developed prior to annexation, full compliance with both landscaping area and tree plantings will not be required. However, frontage trees should be required for the site with the location to be coordinated with Urban Forestry. The site plan should be revised illustrating the square footage of landscaping and percentages of the total and frontage landscaping provided on proposed Lot A & B.

The site plan and preliminary plat do indicate a detention area. Since the detention area was required, it should be labeled as common area on both with a note stating that maintenance of the common area is the responsibility of the property owners.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: With a waiver of Sections V.D.1. and V.D.3. of the Subdivision Regulations, the plat is recommended for tentative approval subject to the following conditions:

- 1) illustration of the 25-foot minimum building setback along all road frontages;
- 2) retention on the Final Plat of the labeling of each lot with its size in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 3) placement of a note on the Final Plat stating that the subdivision is limited to two curb cuts to Schillinger Road (the southern driveway should be limited to a right-in, right-out only driveway), three curb cuts to Thomas Road to be located within the area which is to be improved to County standards, and four curb cuts to Old Government Street Road;
- 4) labeling of any required detention area as common area and the placement of a note on the Final Plat stating that the maintenance of the common area is the responsibility of the property owners;
- 5) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) compliance with Engineering comments: *(Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department*

shall be placed on the Final Plat. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed development within the property lines will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. A complete set of construction plans for the site work (including drainage, utilities, grading, storm water systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);

- 7) compliance with Traffic Engineering comments: *(Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Curb-cuts should be limited to the existing curb-cuts on all three roadway frontages. Taking into consideration an upcoming safety project on this section of the Schillinger Road corridor, the southern driveway should be limited to a right-in, right-out only driveway.);*
- 8) compliance with Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);* and
- 9) verification that the required rear privacy fence, with permits, prior to signing the Final Plat.
- 10) submittal of two copies of a revised PUD site plan prior to signing the Final Plat.

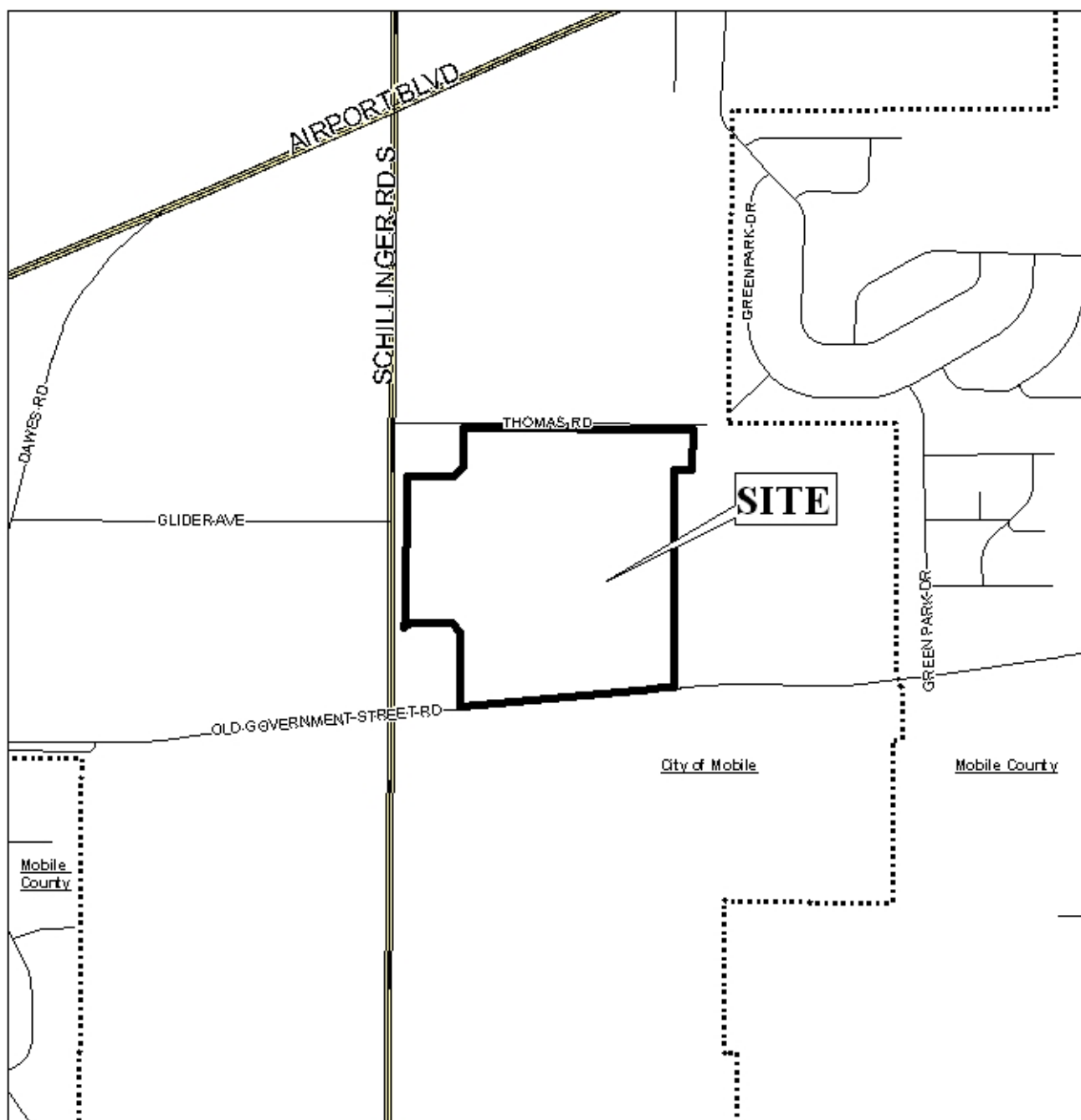
Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) illustration on the site plan the 25-feet minimum building setback line along all road frontages;
- 2) revision of the site plan to illustrate a 6-feet high wooden privacy fence along the rear (East) property line;
- 3) revision of the site plan to provide a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, and with a compliant sanitary sewer connection, or the placement of a note on the site plan stating that trash collection will be curb-side or via private pick-up service;
- 4) revision of the site plan to depict compliance with frontage trees, to be coordinated with Urban Forestry and the square footage and percentages of total and frontage landscaping;
- 5) labeling of any required detention area as common area and the placement of a note on the site plan stating that the maintenance of the common area is the responsibility of the property owners;
- 6) subject to the Engineering comments: *(Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and*

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- 8) *subject to Fire Department comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 9) *verification that the required rear privacy fence has been installed, with permits, prior to signing the Final Plat for the Subdivision; and*
- 10) *submittal of two copies of a revised site plan prior to signing of the Final Plat for the Subdivision.*

LOCATOR MAP



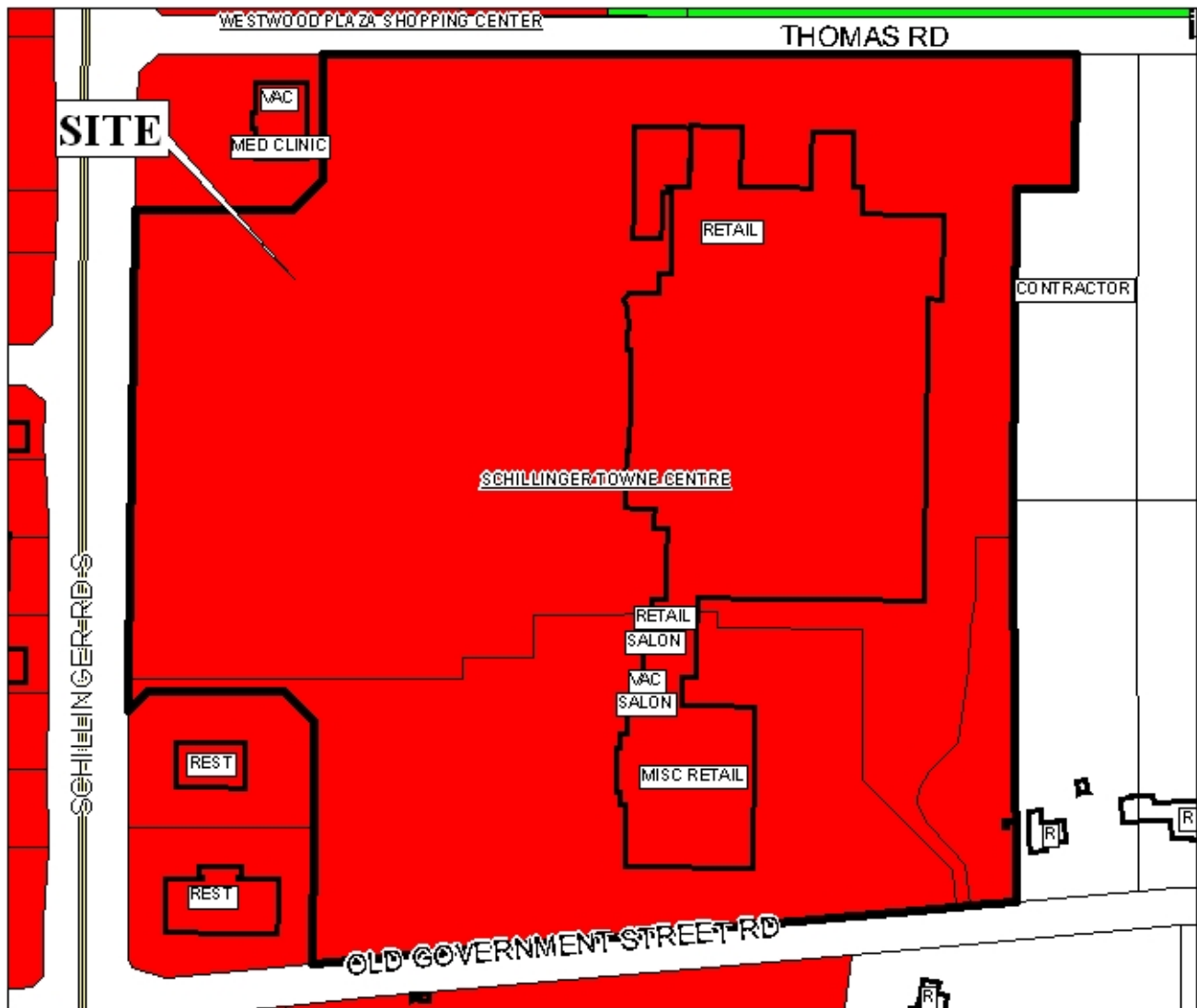
APPLICATION NUMBER 25 & 26 DATE September 6, 2012

APPLICANT Schillinger Town Centre Subdivision, Resubdivision of Lot 4

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residences are located to the east of the site.
Businesses are located to the south, west, and north of the site.

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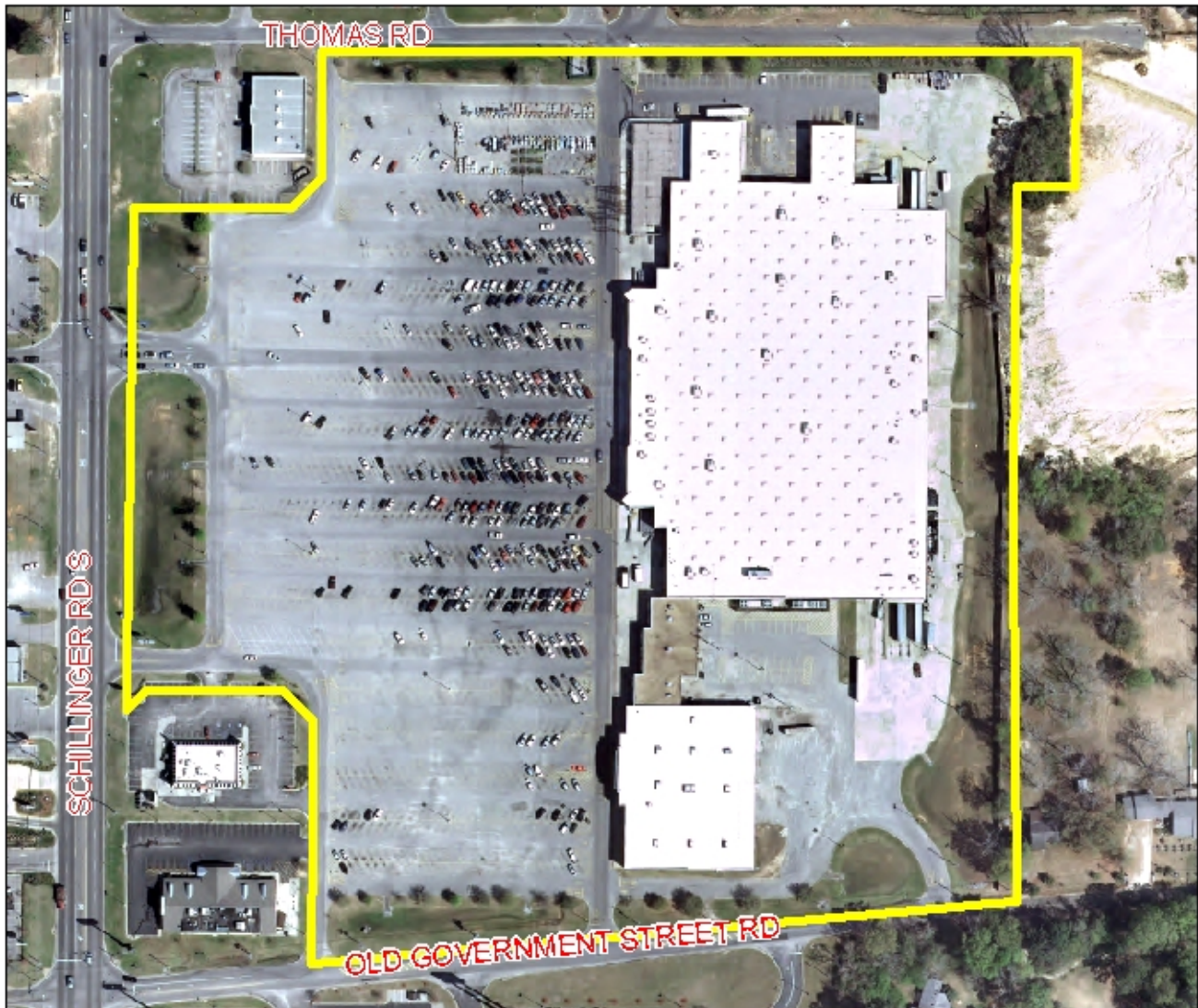
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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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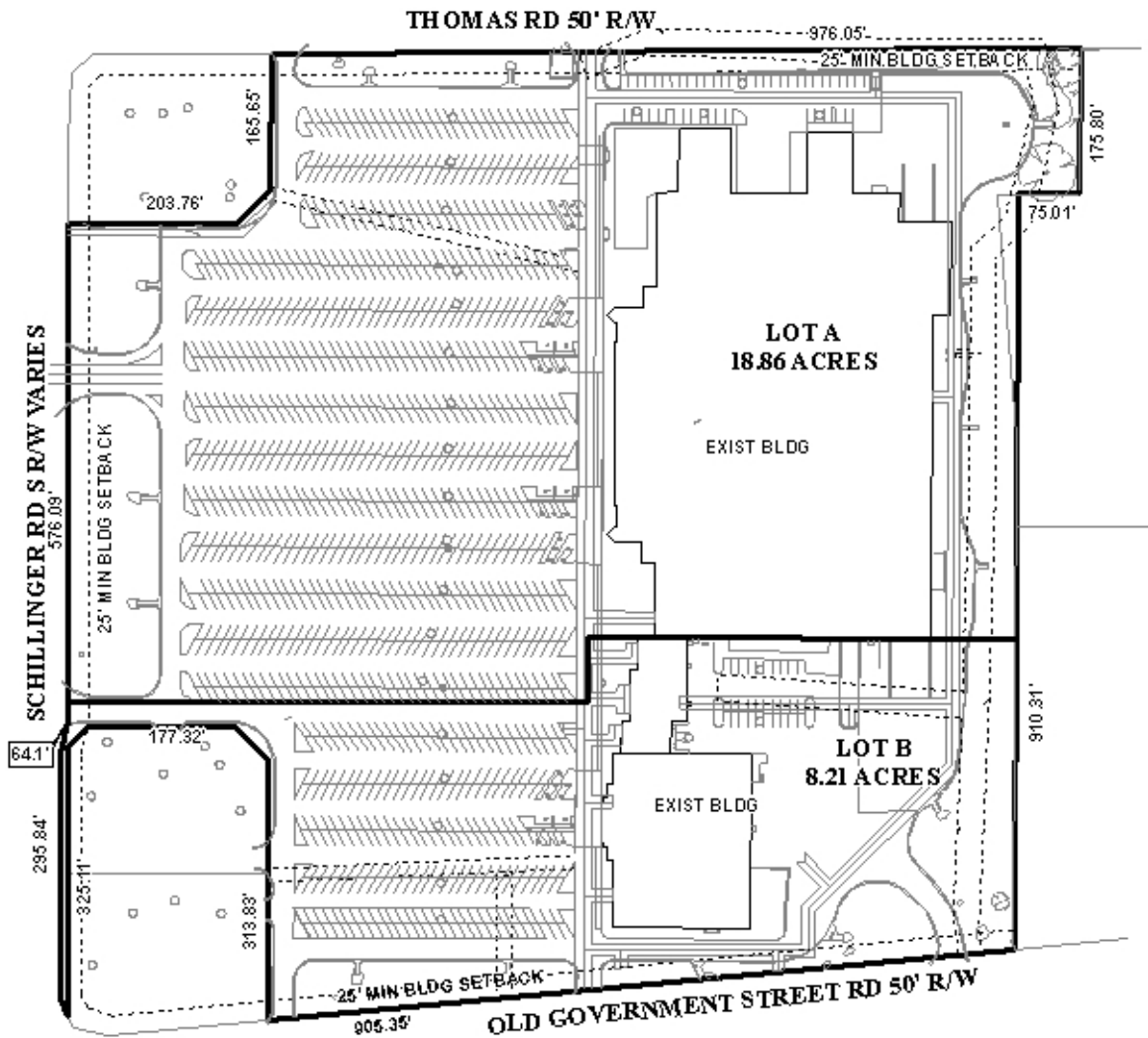
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SITE PLAN



The site plan illustrates the existing buildings, parking, and proposed lot configuration.

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