

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: July 20, 2006****DEVELOPMENT NAME**

Paul Persons Subdivision, Resubdivision of Lot 1

SUBDIVISION NAME

Paul Persons Subdivision, Resubdivision of Lot 1

LOCATION4474 Halls Mill Road
(North side of Halls Mill Road, 4/10 mile \pm West of the
North terminus of Riviere du Chien Road)**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY2 Lot / 5.3 \pm Acre**CONTEMPLATED USE**Planned Unit Development Approval to allow multiple
buildings on a single building site with shared access between building sites, and Subdivision
Approval to create two lots.**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

ENGINEERING**COMMENTS**There is a possibility that a significant drainage easement
will be required along the rear of the property. Please provide contours as required by the
Subdivision Regulations so that an adequate evaluation can be made.

Must comply with all storm water and flood control ordinances. Any work performed in the
right of way will require a right of way permit. The applicant is responsible for verifying if the
site contains wetlands. The site can be checked against the National Wetlands Inventory (NWI)
on the COM web site Environmental Viewer. If the site is included on the NWI, it is the
applicant's responsibility to confirm or deny the existence of regulatory wetlands.

TRAFFIC ENGINEERING**COMMENTS**Driveway number, sizes, location and design to be
approved by Traffic Engineering and conform to AASHTO standards.**URBAN FORESTRY****COMMENTS**Property to be developed in compliance with state and local
laws that pertain to tree preservation and protection on both city and private properties (State Act
61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G, as adopted by the City of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C, and D of the 2003 International Fire Code, as adopted by the City of Mobile on July 6, 2004.

REMARKS

The applicant is requesting Planned Unit Development Approval to allow multiple buildings on a single building site with shared access between building sites, and Subdivision Approval to create two lots.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant is requesting subdivision of the existing lot to create two lots, and a Planned Unit Development to allow multiple buildings on a single building site with shared access between building sites. New development is proposed for the rear of the proposed "lot B," and will include what appears to be office and warehouse space; over half of "lot B" will remain undeveloped at this time.

The site fronts onto Halls Mill Road, a collector street. As a collector street, the right-of-way should be a minimum of 70 feet wide, thus dedication of sufficient right-of-way to provide 35-feet as measured from the centerline of Halls Mill Road should be required. The minimum building setback line should be adjusted to reflect the new right-of-way edge, if required.

North the site are single-family homes and vacant land in an R-1, Single-Family Residential District, while East and South of the site are commercially zoned properties with primarily commercial uses. West of the site are apartments in a B-1, Buffer Business District.

Both proposed lots will be served by an existing common driveway that results in one curb-cut onto Halls Mill Road. The driveway, has a cul-de-sac at the terminus that is approximately 80 feet in diameter. It is not clear if the existing driveway meets minimum construction standards of the City of Mobile.

Each lot will have approximately 127 feet of frontage onto Halls Mill Road. Proposed lot A will have an average depth of 791 feet, while lot B will have an average depth of 847 feet.

The site in question was created by an approved one lot subdivision in November, 1999. Since that time, two buildings have been developed on the site, one of which appears to have been developed without building permits. Additionally, the gravel paving associated with the potentially illegal structure does not meet the minimum requirements of the Zoning Ordinance.

Section V.D. of the Subdivision Regulations recommends a depth to width ratio of 3.5 or less. As proposed, the depth to width ratio for the lots will range from 6.22 to 6.66. The site, in its current lot configuration has a depth to width ratio of 3.22. While there are other sites nearby with depth to width ratios in excess of what is recommended within the Subdivision Regulations, the creation of additional lots nearly twice the recommended ratio does not seem appropriate. Furthermore, the depth of the property essentially results in the creation of a cul-de-sac in excess of the 600 feet recommended in the Subdivision Regulations, and thus creates a potential hazard in terms of access for fire and emergency vehicles to the rear of the property.

The site plan shows proposed new development occurring at the rear of lot B. This design implies that the front portion of lot B will be developed at a future date, either through expansion of the existing development, or a new business. The proposed development of the site, as depicted, may create a future situation where resubdivision would be desired by business owners. Resubdivision of the proposed lots may not be possible in the future because the site may lack adequate street frontage for future lots, and the existing configuration with a private driveway may not allow the site to be resubdivided and designed to meet Subdivision Regulation and Zoning Ordinance criteria.

It should also be noted that when the zoning for the site was changed in 1997 from B-1, Buffer Business District, to B-3, Community Business District, one of conditions for the rezoning was *“provision of a 20 foot buffer strip, to be left in a natural vegetative state with in-fill plantings as determined necessary by the Land Use Staff, along the North and West property lines.”* The site plan for the application in question depicts a 10 foot buffer on the North and West sides, adjacent to the proposed new construction, which would not comply with the conditions of the approved rezoning. The purpose of the buffer was to protect existing residential development that is adjacent to the site. Therefore, the site plan should be revised to reflect the conditions approved as part of the 1997 rezoning of the site.

Development of the site, including the potentially illegal development on proposed lot A, would have to fully comply with the requirements of the City’s stormwater regulations, as well as the tree and landscaping requirements of the Zoning Ordinance. All parking must comply with City of Mobile standards.

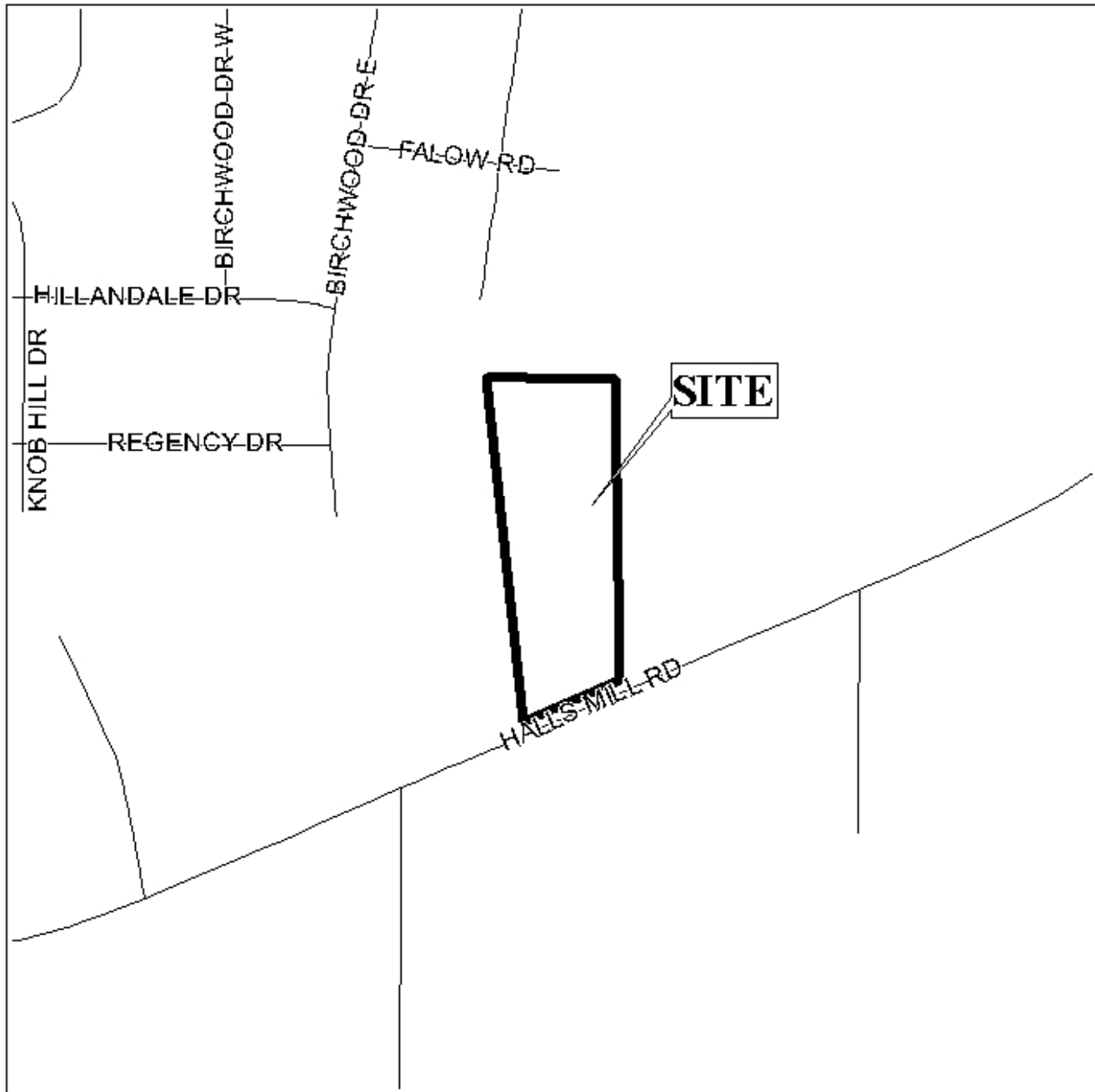
RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Holdover until the August 17th meeting, with revised materials due to Urban Development by July 24th, to allow the following items to be addressed: 1) revision of the site plan to fully

comply with the conditions associated with the 1997 rezoning of the site; 2) provision of evidence that all of the existing development on the site was undertaken with the proper permits; 3) if a portion of the existing development on the site was not properly permitted, provision of a written plan outlining how existing unpermitted development will be brought into compliance with all applicable municipal codes and ordinances; and 4) revision of the site plan and subdivision layout to address depth to width ratio concerns and future subdivision concerns.

Subdivision: Based upon the preceding, this application is recommended for Holdover until the August 17th meeting, with revised materials due to Urban Development by July 24th, to allow the following item to be addressed: 1) revision of the subdivision layout to address depth to width ratio concerns and future subdivision concerns.

LOCATOR MAP



APPLICATION NUMBER 25 & 26 DATE July 20, 2006
APPLICANT Paul Persons Subdivision, Resubdivision of Lot 1
REQUEST Subdivision, Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



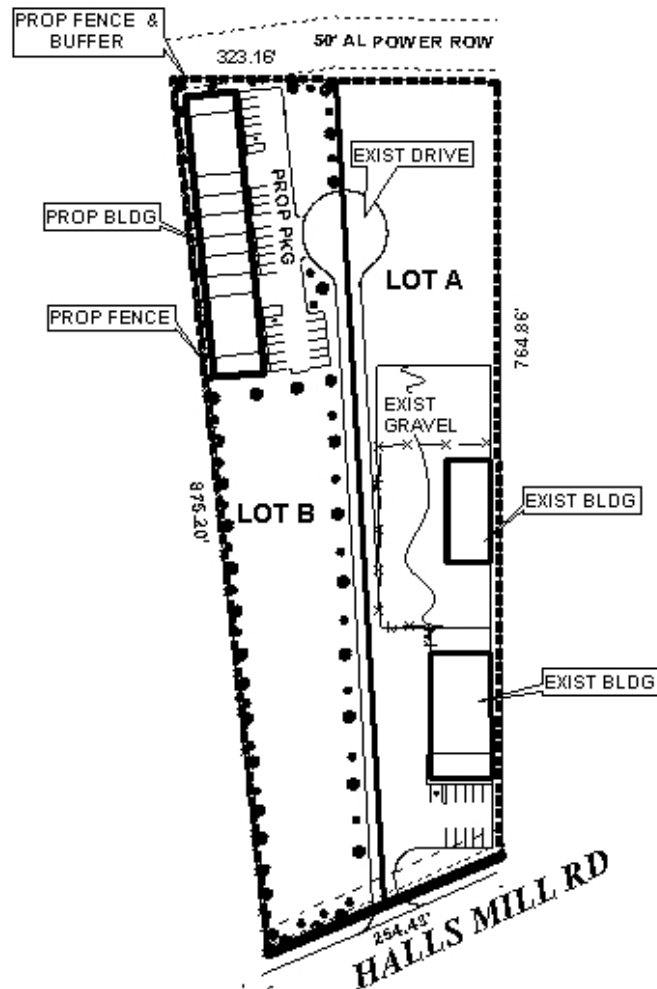
Single-family residential units are located to the north and west of the site.
A school and an apartment complex are located to the west of the site.
Comercial sites are located to the south and east of the site.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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SITE PLAN



The site plan illustrates the existing buildings and drive along with the proposed building, parking, and landscaping.

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NTS