

**SUBDIVISION & PLANNED UNIT
DEVELOPMENT STAFF REPORT****Date: December 6, 2012****SUBDIVISION NAME**

Parkside Subdivision

DEVELOPMENT NAME

Parkside Subdivision

LOCATIONNortheast corner of Cottage Hill Road and Sledge Drive,
extending to the East side of International Drive**CITY COUNCIL****DISTRICT**

District 5

AREA OF PROPERTY

1-Lot/18.2± Acres

CONTEMPLATED USEPlanned Unit Development Approval to allow multiple
buildings on a single building site and Subdivision approval to create one legal lot from five
metes and bounds parcels.**TIME SCHEDULE****FOR DEVELOPMENT**

Upon approvals

ENGINEERING**COMMENTS**The following comments concerning the Final Plat should
be addressed prior to review, acceptance and signature by the City Engineer:

- 1) provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes);
- 2) a signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat;
- 3) add a note to the Plat stating that storm water detention will be required for any unapproved development (since 1984) and any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); and
- 4) add a note to the plat that any development, including any land disturbing activity, will be required to obtain a Land Disturbance Permit; and any work within the Sledge Dr, International Dr, or Cottage Hill Rd ROW will require a ROW Permit.

Comments for the PUD: Any work performed in the existing Cottage Hill Road, Sledge Drive, or International Drive ROW (right-of-way) such as grading, drainage, driveways, sidewalks, utility connections, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way. Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007

& #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. According to the City of Mobile's 1984 aerial photographs these parcels were unimproved and wooded; therefore a detention facility(ies) will be required for any land disturbing activity. Need engineer's analysis of the capacity of the receiving storm system to ensure that the receiving system is capable of handling the additional flow. The surface grading for the proposed dumpster pad(s) and car wash area must be contained and directed to a surface drain that is connected to the Sanitary Sewer system. The drainage from any dumpster pads cannot discharge to the storm sewer system. An ADEM NOR is required for any land disturbance activity over 1 acre. Provide a copy of the ADEM registration information for the site prior to the issuance of a Land Disturbance permit.

TRAFFIC ENGINEERING

COMMENTS

A Traffic Impact Study was submitted and reviewed for this site. There are no objections to the findings in the study. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements identified in the study. It should be noted that the improvements include the installation of a right turn lane on Cottage Hill Road and modification to the center lane striping to allow a dedicated left turn lane into the site. Design of construction/improvements in right-of-way will be approved by Engineering and Traffic Engineering during the permitting process. Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The site driveway on Cottage Hill Road should be wide enough to allow for two 12' lanes, both ingress and egress.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow 12 apartment buildings (288 total units), club house, pool, fitness center, volleyball court and open space illustrated as a dog park area on a single building site and Subdivision approval to create one legal lot from five metes and bounds parcels.

Planned Unit Development review, stated in Section 64-5. of the Zoning Ordinance, examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant is proposing a 288-unit apartment complex on proposed Lot 1, with twelve three-story apartment buildings, (3) garages to park (8) vehicles each, an outdoor pool with a clubhouse building, volleyball court, car wash, mail kiosk, a dog area open space and dumpster/compactor facility on approximately 18.23± acres. The apartments will be developed over two phases, with Phase One to include 240 units, and Phase Two the remaining 48 units: the phasing is indicated on the PUD site plan. The apartment complex requires 1.5 parking spaces per unit, or 372 spaces, however, 565 spaces are provided. The site plan also shows one entrance onto Cottage Hill Road and one entrance onto International Drive.

The proposed 18323± acre, 1-lot subdivision fronts Cottage Hill Road, which has right-of-way illustrated as 45-feet from the centerline of Cottage Hill Road, Sledge Drive and International Drive, both providing 60-feet of right-of-way. A portion of the site front the proposed future Cottage Hill Road/Duval Street corridor; therefore, would require the dedication of 50-feet from the centerline of Cottage Hill Road. International Drive meets the minor street standard of the Major Street Plan; therefore, no dedication is required. However, due to the location and size of the development, access management is a concern.

As stated in Traffic Engineering comments a Traffic Impact Study was submitted and reviewed for this site. Traffic Engineering stated there are no objections to the findings in the study. However, Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements identified in the study. It should be noted that the improvements include the installation of a right turn lane on Cottage Hill Road and modifications to the center lane striping to allow a dedicated left turn lane into the site. In addition, the design of the construction/improvements within the right-of-way shall be approved by Engineering and Traffic Engineering during the permitting process. Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Also, the site driveway on Cottage Hill Road should be wide enough to allow for two 12' lanes, both ingress and egress.

Regarding the site design, it appears that the building and parking layout meets the minimum requirements of the Zoning Ordinance. Staff cannot determine, however, if the site will comply with the tree and landscape requirements of the Zoning Ordinance, as no detailed information is provided other than a total area; however, as a commercial site being developed for multi-family use, the site must fully comply with frontage, perimeter and parking tree requirements, as well as the total and frontage landscape area requirements of the Ordinance. The submitted site plan provides a significant number of trees and landscaping and staff feels these items may not result in a significant modification of the site plan; therefore, it is recommended that the applicant revise the plan to illustrate the minimum requirements of the Zoning Ordinance.

The applicant is proposing a “multi-family” PUD residential development, and consequently, PUD landscape area requirements also apply. Section 64-5.C.2. of the Zoning Ordinance

requires 700 square feet of open space per dwelling unit, which cannot include streets, drainageways, parking areas, service areas and land covered by buildings. A calculation of the green space surrounding the site provides 372, 500+ square feet of green space, well exceeding the provision of 700 square feet of green space per unit; however, a condition of approval would require that this calculation be illustrated on the revised site plan if approved.

The site is zoned B-3, Community Business District, however, it abuts an R-1, Single-Family Residence District to the Northeast, which contains several single-family residences. A buffer should be provided between the two sites, in the form of a 6-foot high wooden privacy fence (except within required front setbacks, where it shall not exceed 3-feet high), and a 10-foot wide buffer. In lieu of the fence, the applicant can provide an evergreen hedge 6-feet high at time of planting, dense enough to create an effective visual buffer. The fence and buffer should be shown on the PUD site plan.

The site plan depicts two storm water detention basins. A note should be placed on the site plan, if approved, stating that maintenance of the detention/retention basins and any other common areas, are the responsibility of the property owner(s).

The site plan does depict sidewalks along Cottage Hill Road but does not illustrate sidewalks along Sledge Drive and International Drive, however, sidewalks would be required. The site plan should be revised to show sidewalks along all frontages of the proposed development. Should the applicant not wish to provide sidewalks, an application to the Planning Commission for a sidewalk waiver will be necessary. However, there does not appear to be a topographic reason the sidewalks cannot be constructed. Furthermore, given the close proximity to major shopping there will likely be pedestrian traffic.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: Based on the preceding, the Subdivision request is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the development is limited to one (1) curb-cut onto Cottage Hill Road, and one (1) curb-cut onto International Drive, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) compliance with Engineering comments (*The following comments concerning the Final Plat should be addressed prior to review, acceptance and signature by the City Engineer: 1) provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes); 2) a signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat; 3) add a note to the Plat stating that storm water detention will be required for any unapproved development (since 1984) and any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); and 4) add a note to the plat that any development, including any land disturbing activity, will be required to*

obtain a Land Disturbance Permit; and any work within the Sledge Dr, International Dr, or Cottage Hill Rd ROW will require a ROW Permit.);

- 3) *compliance with Traffic Engineering comments (A Traffic Impact Study was submitted and reviewed for this site. There are no objections to the findings in the study. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements identified in the study. It should be noted that the improvements include the installation of a right turn lane on Cottage Hill Road and modification to the center lane striping to allow a dedicated left turn lane into the site. Design of construction/improvements in right-of-way will be approved by Engineering and Traffic Engineering during the permitting process. Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The site driveway on Cottage Hill Road should be wide enough to allow for two 12' lanes, both ingress and egress.);*
- 4) *compliance with Fire Department comments (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 5) *placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;*
- 6) *provision of sidewalks along all road frontages; and*
- 7) *completion of the Subdivision process prior to any requests for land disturbance.*

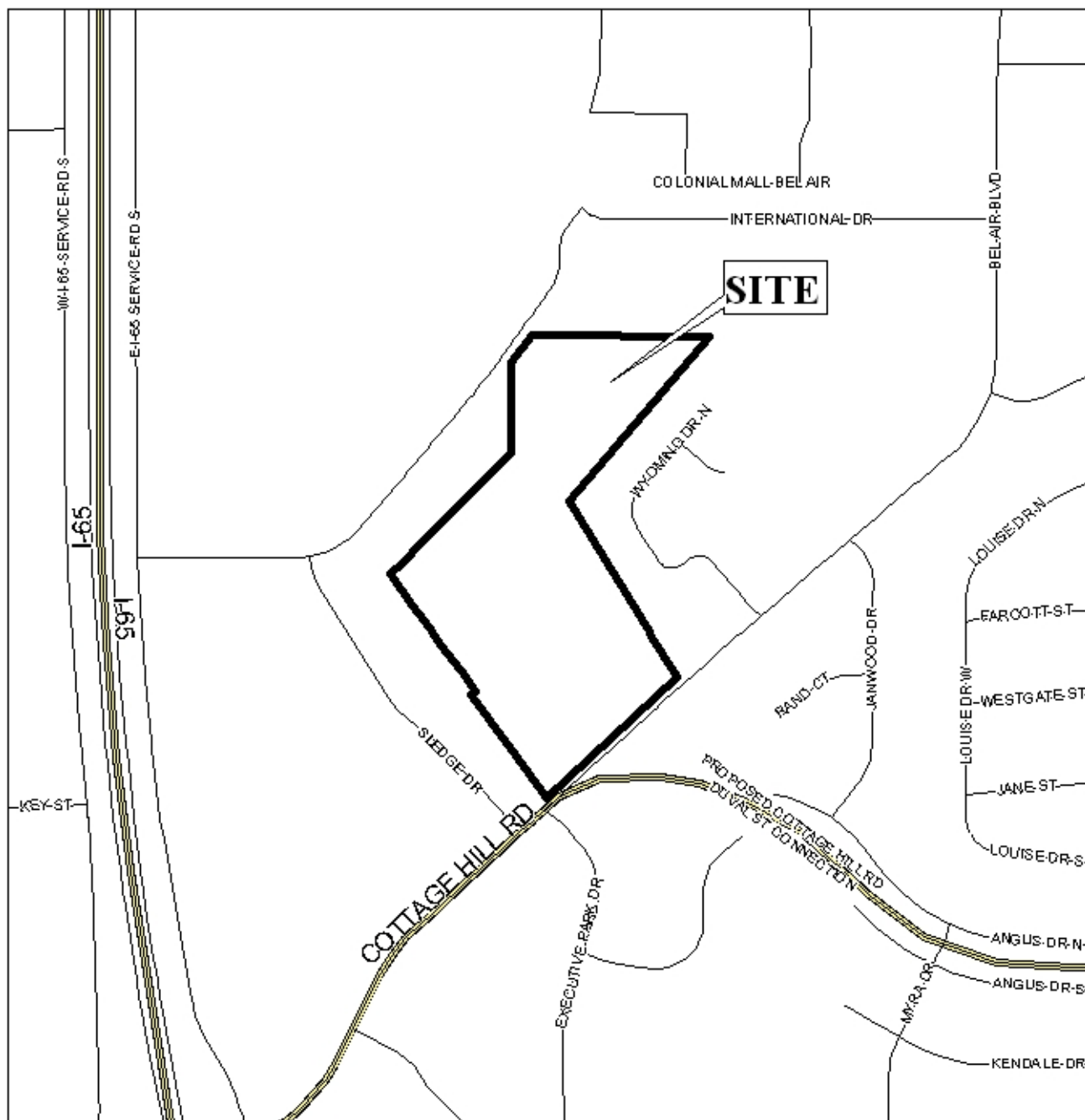
Planned Unit Development: As revised, the PUD request is recommended for Approval, subject to the following conditions:

- 1) *compliance with Engineering comments (Any work performed in the existing Cottage Hill Road, Sledge Drive, or International Drive ROW (right-of-way) such as grading, drainage, driveways, sidewalks, utility connections, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way. Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. According to the City of Mobile's 1984 aerial photographs these parcels were unimproved and wooded; therefore a detention facility(ies) will be required for any land disturbing activity. Need engineer's analysis of the capacity of the receiving storm system to ensure that the receiving system is capable of handling the additional flow. The surface grading for the proposed dumpster pad(s) and car wash area must be contained and directed to a surface drain that is connected to the Sanitary Sewer system. The drainage from any dumpster pads cannot discharge to the storm sewer system. An ADEM NOR is required for any land disturbance activity over 1 acre. Provide a copy of the ADEM registration information for the site prior to the issuance of a Land Disturbance permit.);*
- 2) *compliance with Traffic Engineering comments (A Traffic Impact Study was submitted and reviewed for this site. There are no objections to the findings in the study. Traffic Engineering approval of this site is contingent upon the construction by the developer/owner of all improvements identified in the study. It should be noted that the*

improvements include the installation of a right turn lane on Cottage Hill Road and modification to the center lane striping to allow a dedicated left turn lane into the site. Design of construction/improvements in right-of-way will be approved by Engineering and Traffic Engineering during the permitting process. Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The site driveway on Cottage Hill Road should be wide enough to allow for two 12' lanes, both ingress and egress.);

- 3) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile*);
- 4) completion of the Subdivision process prior to any request for land disturbance;
- 5) submission of a revised site plan illustrating sidewalks along all road frontages;
- 6) illustration of compliance on the revised PUD site plan with Section 64-5.C.2. of the Zoning Ordinance requiring 700 square feet of open space per dwelling unit, which cannot include streets, drainageways, parking areas, service areas and land covered by buildings;
- 7) submission of two copies of the revised PUD site plan to the Planning Section of Urban Development prior to the signing of the Final Plat and
- 8) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 25 & 26 DATE December 6, 2012

APPLICANT Parkside Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

[illegible]

Businesses are located to the west of the site.
Single-family residences are located to the east.

N
NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Businesses are located to the west of the site.
Single-family residences are located to the east.

APPLICATION NUMBER 25 & 26 DATE December 6, 2012

APPLICANT Parkside Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

SITE PLAN



The site plan illustrates the proposed apartment complex.

APPLICATION NUMBER 25 & 26 DATE October 4, 2012

APPLICANT Parkside Subdivision

REQUEST Subdivision, Planned Unit Development

