

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: February 21, 2008****DEVELOPMENT NAME**

MFP Commercial Park Subdivision

SUBDIVISION NAME

MFP Commercial Park Subdivision

LOCATION

3218 Crichton Street
(Northeast corner of Moffett Road and the Illinois Central
Gulf Railroad right-of-way, extending to the West side of
Crichton Street)

CITY COUNCIL**DISTRICT**

District 1

AREA OF PROPERTY

1-lot/ 12.1± acres

CONTEMPLATED USE

Planned Unit Development Approval to allow three
building on a single building site, and Subdivision Approval to create a one legal lot from four
metes and bounds parcels.

TIME SCHEDULE**FOR DEVELOPMENT**

Immediately upon approvals.

ENGINEERING**COMMENTS**

The size and location of any drainage easement as well as the relocation of any drainage structure conveying public water on-site require the approval of the Engineering Dept. before signature of final plat. Detention ponds' functionality and capacity should be verified for any additional impervious area proposed. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

Fire hydrants shall comply with Section 508.5.1 and Appendix B and C of the 2003 IFC. FDC shall be within 100 feet of fire hydrant. Sprinkler systems shall be electronically monitored per Section 903.4 thru 903.4.3 of the 2003 IFC.

REMARKS

The applicant is seeking Planned Unit Development Approval to allow three buildings on a single building site, and Subdivision Approval to create a legal lot of record from four metes and bounds parcels. The site is located in Council District 1, and according to the application is served by public water and sanitary sewer.

The purpose of the subdivision is to create one legal lot of record from four metes and bounds parcels.

The site fronts Moffett Road, a major street, with 100-feet of right-of-way, compliant with the major street plan, and Crichton Street, a minor, unpaved street, with 50-feet of right-of-way. Access to the development may be a concern; therefore, the development should be allowed the existing two easternmost curb cuts, along Moffett Road, and the existing access from Crichton Street, with the design, size and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned I-1, Light Industry District, thus distribution/warehousing uses are allowed by right. Furthermore, this district allows up to 75% site coverage and a 25-foot front yard setback and zero-foot side and rear yard setbacks.

The existing PUD site contains unmarked, paved parking serving three existing warehouse/storage buildings. Information was provided regarding the square footage of each building, the north building (32,518 square feet), the western building (62,500 square feet), and the eastern building (42,716 square feet). It should be noted that the only proposed addition is to the west building, a proposed 3,288 square foot addition.

The narrative for the applications states that the development is an office-warehouse distribution complex, but provides no information with regard to number of employees or the square footage of office space in each building. Therefore, parking calculations cannot be accurately performed. *Section 64-6.6. Amounts of off-street parking facilities required*, states one (1) space per three-hundred (300) square feet of gross floor area devoted to office or commercial uses, plus one (1) space per (3) warehouse employees.

The proposed new parking area proposed (54 parking spaces) will be accessed via one, two-way drive from Moffett Road, and existing parking area (69 parking spaces) by either the two-way entrance via Crichton Street or the easternmost curb cut from Moffett Road. It should be noted that the existing westernmost drive from Moffett Road should be closed due to no vehicular access would be needed to this area of the development.

No dumpster is depicted on the site plan. If a dumpster is proposed, it should be depicted on the site plan, or a statement should be provided indicating that no dumpster will be included as part of the development.

Development of the site must comply with the requirements of the Zoning Ordinance, thus frontage trees will be required, and sidewalks must be built along all street frontages.

The 25-foot minimum building setback line from all street frontages, required in Section V.D.9. of the Subdivision Regulations, is not shown for the subdivision, but would be required on the final plat, if approved.

RECOMMENDATION

Subdivision: Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

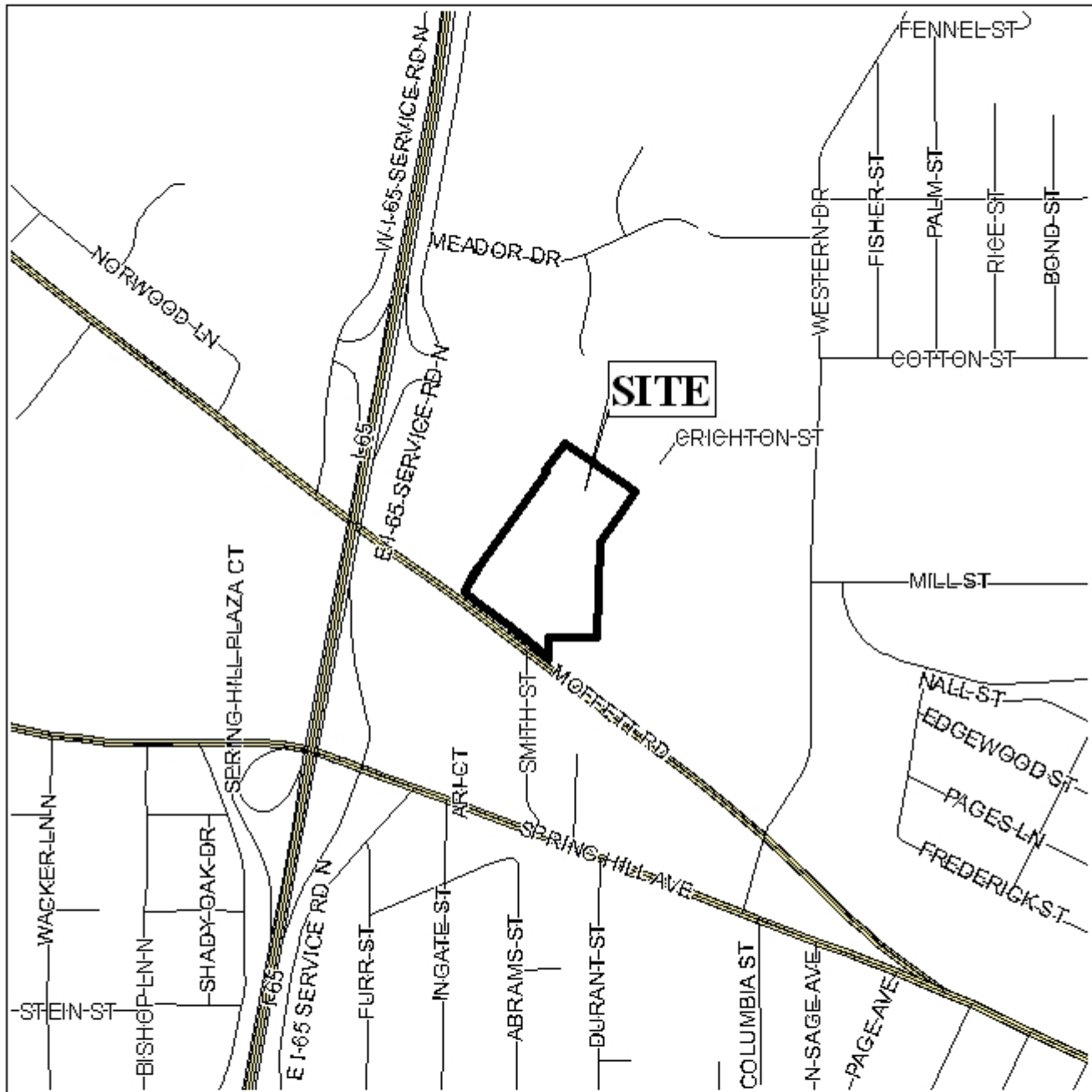
- 1) the placement of the 25-foot minimum building setback lines along all road frontages;
- 2) the placement of a note on the Final Plat stating the development is limited to two curb cuts, along Moffett Road, and the existing curb cut to Crichton Street with the design, size and location to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards;
- 3) that the size of lot be labeled on the Final Plat; and
- 4) submission of the revised PUD site plan prior to the signing of the Final Plat.

Planned Unit Development: Based on the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) the placement of the 25-foot minimum building setback lines along all road frontages;

- 2) the placement of a note on the Final Plat stating the development is limited to two curb cuts, along Moffett Road, and the existing curb cut to Crichton Street with the design, size and location to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards;
- 3) the illustration of the calculations regarding the number of parking spaces required per Section 64-6.6, of the Zoning Ordinance;
- 4) the illustration of the dumpster on the site plan, or a statement that no dumpster is proposed for this development;
- 5) the construction of sidewalks along Moffett Road or the submission of a sidewalk waiver; and
- 6) the submission of a revised PUD site plan depicting the conditions of approval, prior to the signing of the Final Plat.

LOCATOR MAP



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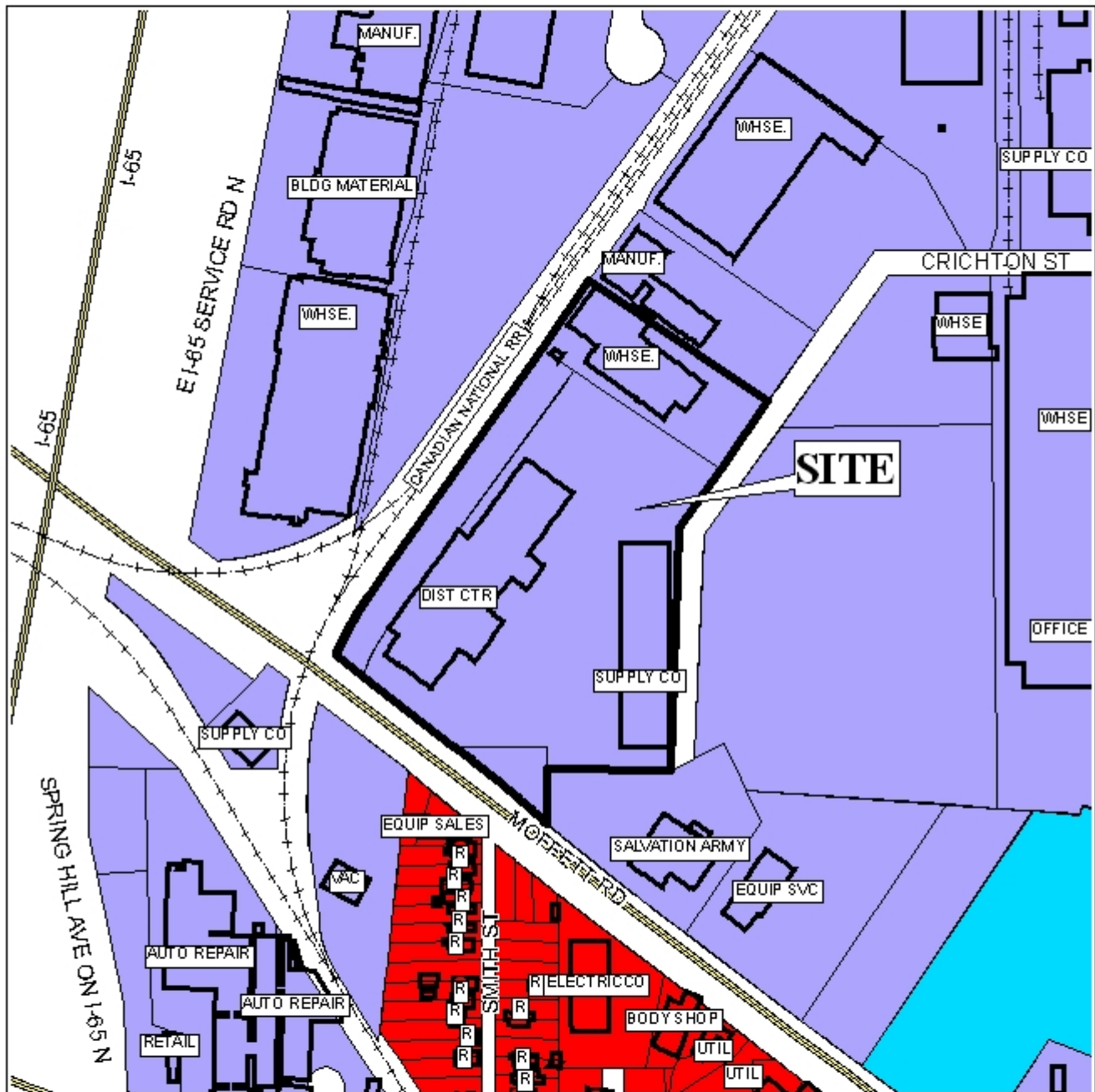
APPLICANT MFP Commercial Park Subdivision

REQUEST Subdivision, Planned Unit Development



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MFP COMMERCIAL PARK SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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MFP COMMERCIAL PARK SUBDIVISION

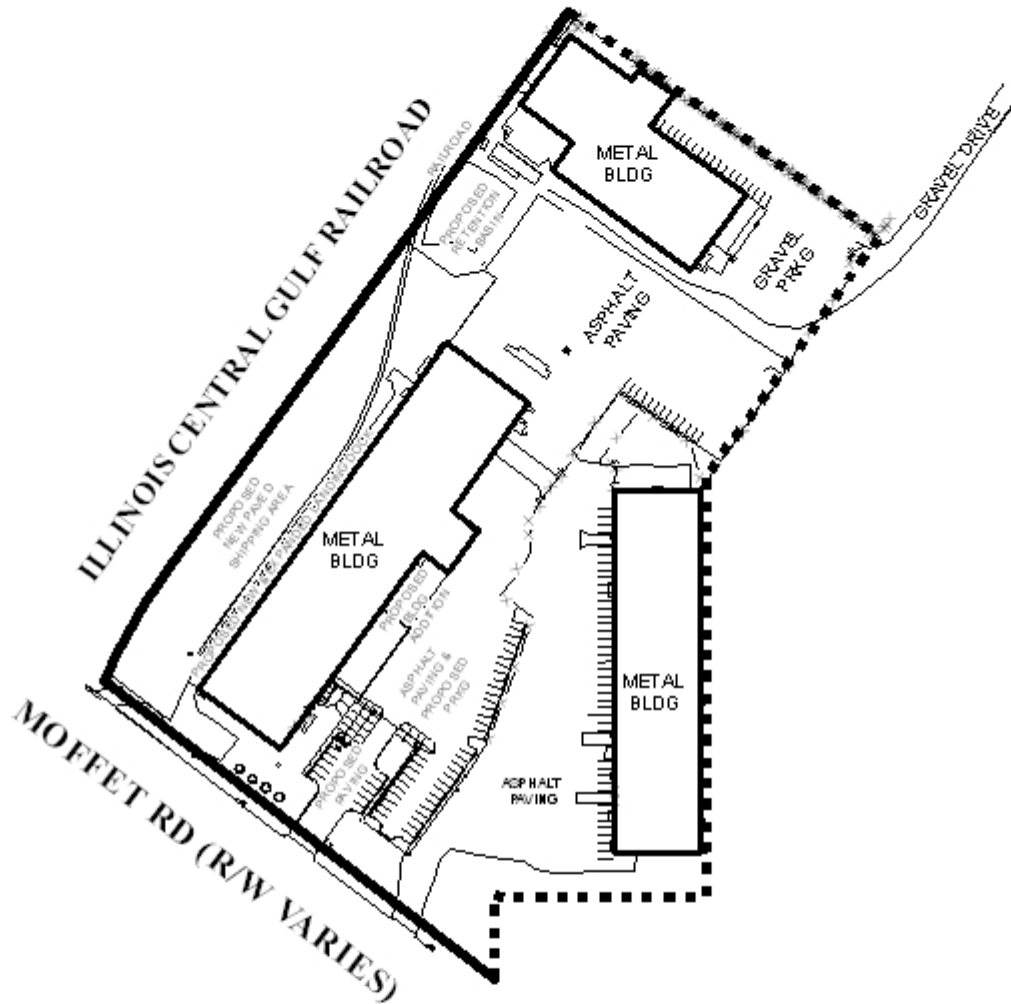


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SITE PLAN



This site plan illustrates existing and proposed structures.

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