

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: November 1, 2012****DEVELOPMENT NAME**

Lee Vella Subdivision

**SUBDIVISION NAME**

Lee Vella Subdivision

**LOCATION**

120 South University Boulevard  
(West side of South University Boulevard, 500'± North of  
Bit and Spur Road)

**CITY COUNCIL  
DISTRICT**

District 6

**AREA OF PROPERTY**

4-Lots /3.8± Acres

**CONTEMPLATED USE**

Planned Unit Development Approval to allow a private  
street commercial subdivision and Subdivision approval to create four legal lots of record from  
an existing legal lot of record.

**TIME SCHEDULE  
FOR DEVELOPMENT**

Upon approvals.

**ENGINEERING  
COMMENTS**

Provide all of the required information on the Final Plat  
(i.e. signature blocks, signatures, certification statements, legal description, required notes). A  
signature block and signature for the Traffic Engineering Department shall be placed on the Final  
Plat. Dedicate ROW radius at the corner of University Blvd and the proposed PRIVATE DRIVE  
– 25' minimum radius (each side) or as approved by Traffic Engineering and Engineering. Note  
6 on the Preliminary Plat should be revised to allow one (1) curb cut each to Lot 2, 3, and 4 from  
the proposed PRIVATE DRIVE.

**TRAFFIC ENGINEERING  
COMMENTS**

The overall site should be limited to two curb-cuts, the  
existing driveway on the proposed Lot 1 and Private Road access point, with size, location and  
design to be approved by Traffic Engineering and conform to AASHTO standards. Access to  
University Boulevard should be denied from the two Common Areas adjacent to the public right-  
of-way.

**URBAN FORESTRY  
COMMENTS**

Property to be developed in compliance with state and local  
laws that pertain to tree preservation and protection on both city and private properties (State Act  
61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT**

**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is seeking Planned Unit Development Approval to allow a private street commercial subdivision and Subdivision approval to create four legal lots of record from an existing legal lot of record. The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant is submitting this subdivision under Section VIII.C. Innovative Design section of the Subdivision Regulations. Under this section, the Planning Commission may allow a subdivision that illustrates innovative or unconventional design. In this case, the applicant states that the building group will consist of four professional buildings that would access a private street, which would allow this development to be considered innovative or unconventional.

The proposed lots, as depicted, meet the minimum size and frontage requirements as regulated by the Subdivision Regulations. The 25-foot minimum building setback lines are not depicted; therefore, the plat should be revised to depict the 25' minimum building setback line along the private street frontage of all lots, if approved. The lot area sizes in square feet/acres are depicted on the preliminary plat and should be retained on the Final Plat, if approved.

As proposed, lots 2-4 front a private street as allowed in Section VIII.C. of the Subdivision Regulations, Lot 1 has an existing access to South University Boulevard, but also proposes access via the private street to the rear of the lot.

The site fronts South University Boulevard, a component of the Major Street Plan with a planned 100' right-of-way. As South University Boulevard currently has 100-foot right-of-way along the site, no dedication would be required. As such, a note should be required on the Final Plat stating that the development is limited to the existing curb cut from Lot 1 and the Private Street access point to South University Boulevard, with the size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards.

An existing city standard sidewalk is indicated along the South University Boulevard; however, no sidewalks are illustrated along the private street. In addition, the site plan does not indicate a dumpster or contain a note stating how trash pick-up is proposed. Therefore, the site plan should be revised to indicate a continuous sidewalk that serves the parking spaces within the private street right-of-way, a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, with a compliant sanitary sewer connection, or a note should be placed on the site plan stating that trash collection will be curb-side pick-up or private pick-up service.

Parking spaces provided exceed the required ratio by 30 percent for the development, which is located in a B-3, Community Business District, and access ways and maneuvering areas comply with the requirements of the Ordinance.

The plan does illustrate two common areas; if approved, the Final Plat should include a note stating that maintenance of the common area is the responsibility of the property owners.

The site abuts R-1 zoned property to the South and West; therefore, the provision of a 10-foot buffer strip and fence is required where the site abuts residentially zoned property as per Section 64-4 of the Zoning Ordinance.

The site does not illustrate the location or number of the tree planting requirements of the Ordinance. Therefore, a condition of approval should be required that the development comply with the landscaping and tree planting requirements of the Ordinance. In addition, frontage trees are required along the private street as well.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

### **RECOMMENDATION**

**Subdivision:** The request is recommended for tentative approval, subject to the following conditions:

- 1) revision of the Final Plat to illustrate the 25-foot minimum building setback along all lots along the South University Boulevard and the Private Street;
- 2) retain on the Final Plat of labeling each lot with its size in square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 3) placement of a note on the Final Plat stating that the development is limited to two curb cuts to South University Boulevard (existing curb cut and private street access point), with the size, design, and exact location to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) labeling of any required detention area as common area and the placement of a note on the Final Plat stating that the maintenance of the common area is the responsibility of the property owners;
- 5) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;

- 6) compliance with Engineering comments: *(Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. Dedicate ROW radius at the corner of University Blvd and the proposed PRIVATE DRIVE – 25' minimum radius (each side) or as approved by Traffic Engineering and Engineering. Note 6 on the Preliminary Plat should be revised to allow one (1) curb cut each to Lot 2, 3, and 4 from the proposed PRIVATE DRIVE);*
- 7) compliance with Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 8) the placement of a note on the Final Plat stating the provision of a 10-foot buffer and six-foot high solid privacy fence adjacent to residentially zoned properties;
- 9) compliance with Section VIII.E. of the Subdivision Regulations; and
- 10) submittal of two copies of a revised PUD site plan prior to signing the Final Plat.

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following conditions:

- 1) revision of the site plan to illustrate the 25-foot minimum building setback along all lots along the South University Boulevard and the Private Street;
- 2) revision of the site plan to provide a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, and with a compliant sanitary sewer connection, or the placement of a note on the site plan stating that trash collection will be curb-side or via private pick-up service;
- 3) compliance with the landscaping and tree planting requirements of the Zoning Ordinance;
- 4) labeling of any required detention area as common area and the placement of a note on the site plan stating that the maintenance of the common area is the responsibility of the property owners;
- 5) subject to the Engineering comments: *(Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes). A signature block and signature for the Traffic Engineering Department shall be placed on the Final Plat. Dedicate ROW radius at the corner of University Blvd and the proposed PRIVATE DRIVE – 25' minimum radius (each side) or as approved by Traffic Engineering and Engineering. Note 6 on the Preliminary Plat should be revised to allow one (1) curb cut each to Lot 2, 3, and 4 from the proposed PRIVATE DRIVE);*
- 6) subject to Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);* and
- 7) submittal of two copies of a revised site plan prior to signing of the Final Plat for the Subdivision.

## LOCATOR MAP



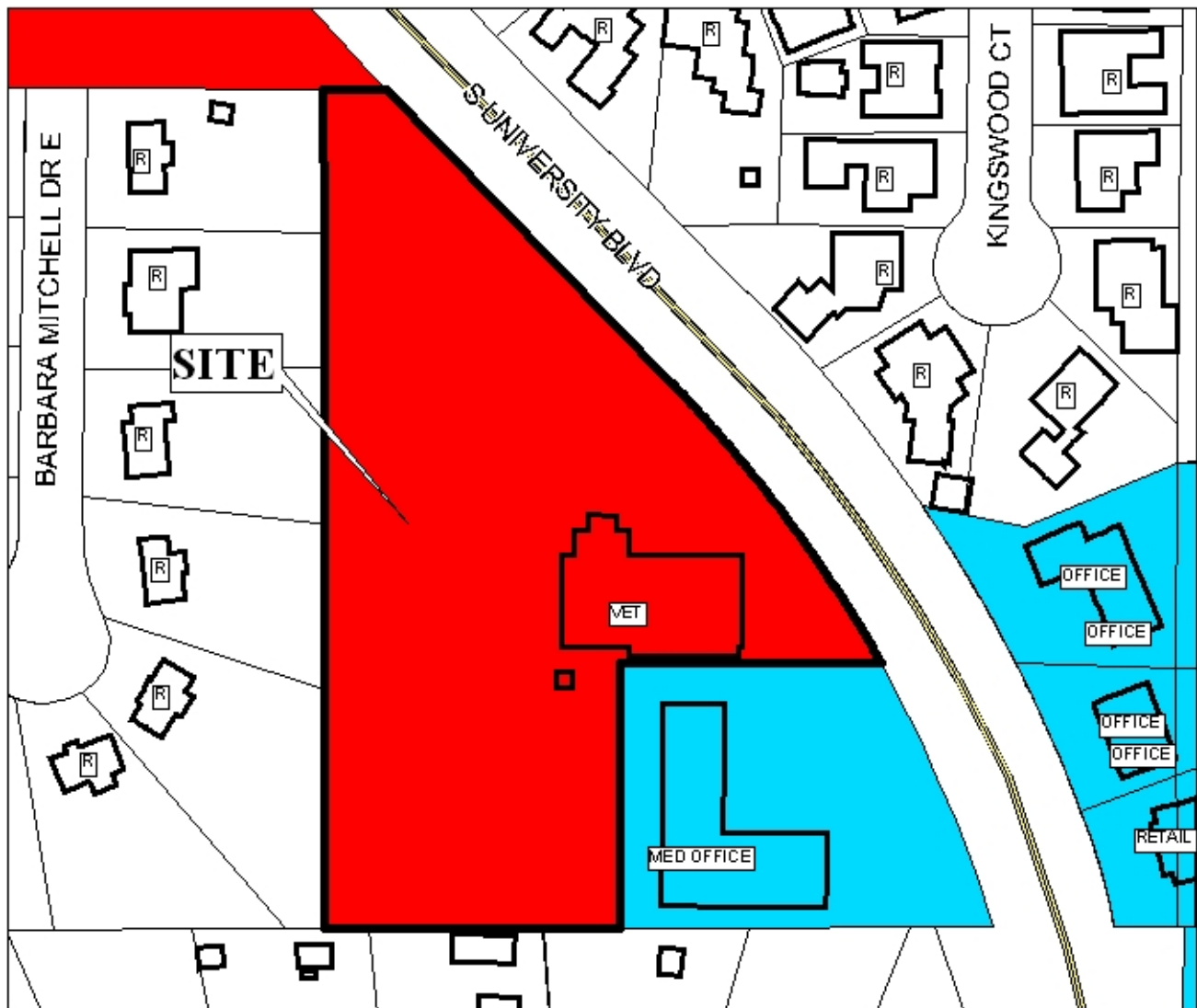
APPLICATION NUMBER 25 & 26 DATE November 1, 2012

APPLICANT Lee Vella Subdivision

REQUEST Subdivision, Planned Unit Development



# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residences are located to the west of the site. A medical office is located to the south of the site.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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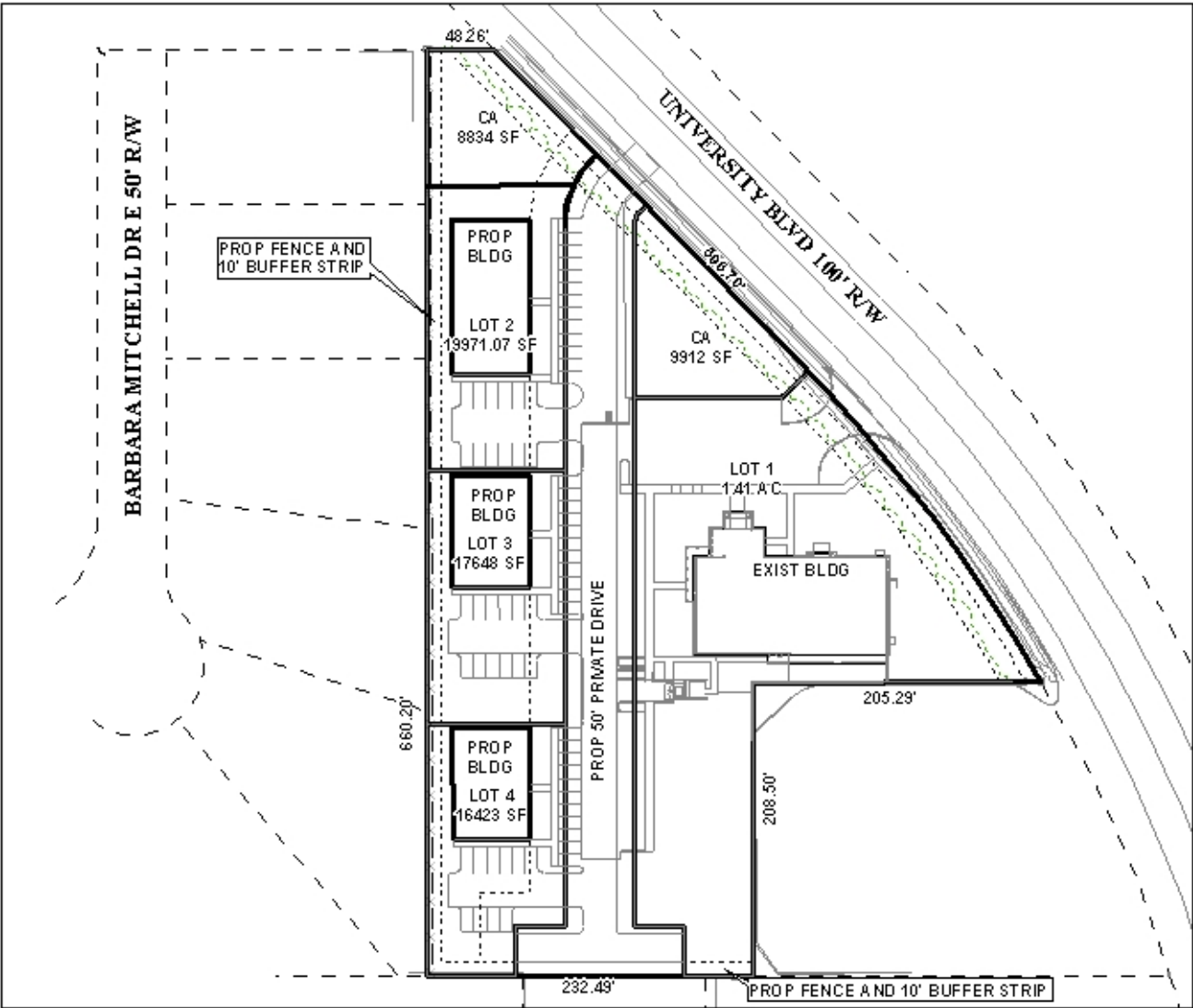
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## SITE PLAN




The site plan illustrates the proposed private street subdivision.


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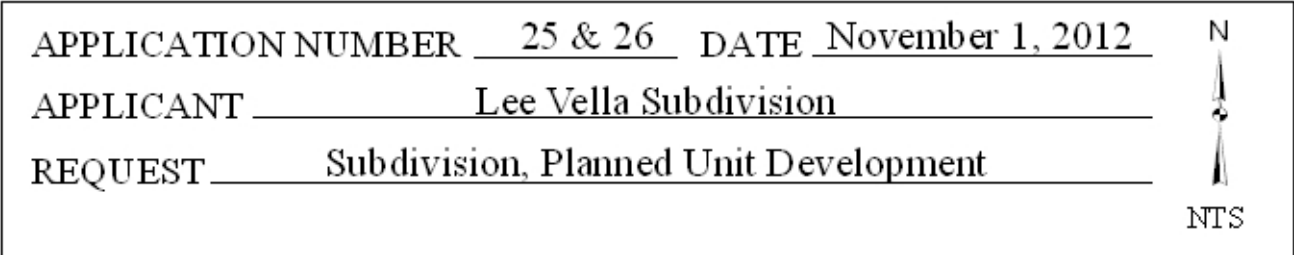
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