

**PLANNED UNIT DEVELOPMENT  
& SUBDIVISION STAFF REPORT****Date: July 5, 2012**

**DEVELOPMENT NAME** International Longshoremen's Associations Place  
Subdivision

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Subdivision

**LOCATION** 505 Dr. Martin Luther King, Jr. Avenue, 251, 253 and 255  
North Hamilton Street, and 256 North Lawrence Street  
(Northeast corner of North Lawrence and State Street and  
extending East to North Hamilton Street and North to Dr.  
Martin Luther King Jr. Avenue)

**CITY COUNCIL  
DISTRICT** District 2

**AREA OF PROPERTY** 1 Lot / 0.7 ± acres

**CONTEMPLATED USE** Subdivision approval to create one lot. The Planned Unit  
Development request has been withdrawn due to the revision of the Subdivision application to  
exclude adjacent buildings.

**TIME SCHEDULE  
FOR DEVELOPMENT** Immediate.

**ENGINEERING  
COMMENTS** 1.) Any work performed in the existing ROW (right-of-  
way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will  
require a ROW permit from the City of Mobile Engineering Department (208-6070) and must  
comply with the City of Mobile Right-of-Way Construction and Administration Ordinance  
(Mobile City Code, Chapter 57, Article VIII). 2.) Any and all proposed development will need  
to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile  
City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood  
Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and  
Storm Water Runoff Control. 3.) A complete set of construction plans for the site work  
(including drainage, utilities, grading, stormwater systems, paving) will be required to be  
submitted with the Land Disturbance permit. These plans are to be submitted and approved prior  
to beginning any of the construction work.

**TRAFFIC ENGINEERING  
COMMENTS** Driveway number, size, location, and design to be  
approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is seeking Subdivision approval to create one lot. The Planned Unit Development request has been withdrawn due to the revision of the Subdivision application to exclude adjacent buildings. The site is located in Council District 2, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to create one lot from two existing parcels. One of the parcels is developed, and the application will allow for the addition of a stairwell and entry to the existing building: the Subdivision process should be completed prior to any request for Certificate of Occupancy or Letters of Substantial Completion for work on the existing building.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site has frontage onto three streets, all of which are minor streets with adequate rights-of-way: no dedication will be required. Access management is a concern due to the urban location of the site. There are two existing curb-cuts to the site, one to State Street and one to North Lawrence Street. The site should be limited to the existing curb-cuts, with any change in size or location to be approved by Traffic Engineering, and to conform to AASHTO standards.

The preliminary plat depicts a corner radius and dedication at the intersection of State Street and North Lawrence Street. This radius and dedication should be retained on the final plat, if approved.

The minimum building setback line is not depicted on the preliminary plat, however, the site is zoned B-4, General Business District, thus a minimum building setback is not required via the Zoning Ordinance. Therefore, the minimum setback requirements of Section V.D.9. of the Subdivision Regulations should be waived to allow the underlying Zoning Ordinance requirements to apply.

The size of the proposed lot is depicted in square feet on the preliminary plat. This same information should be retained on the final plat, if approved.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-

game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

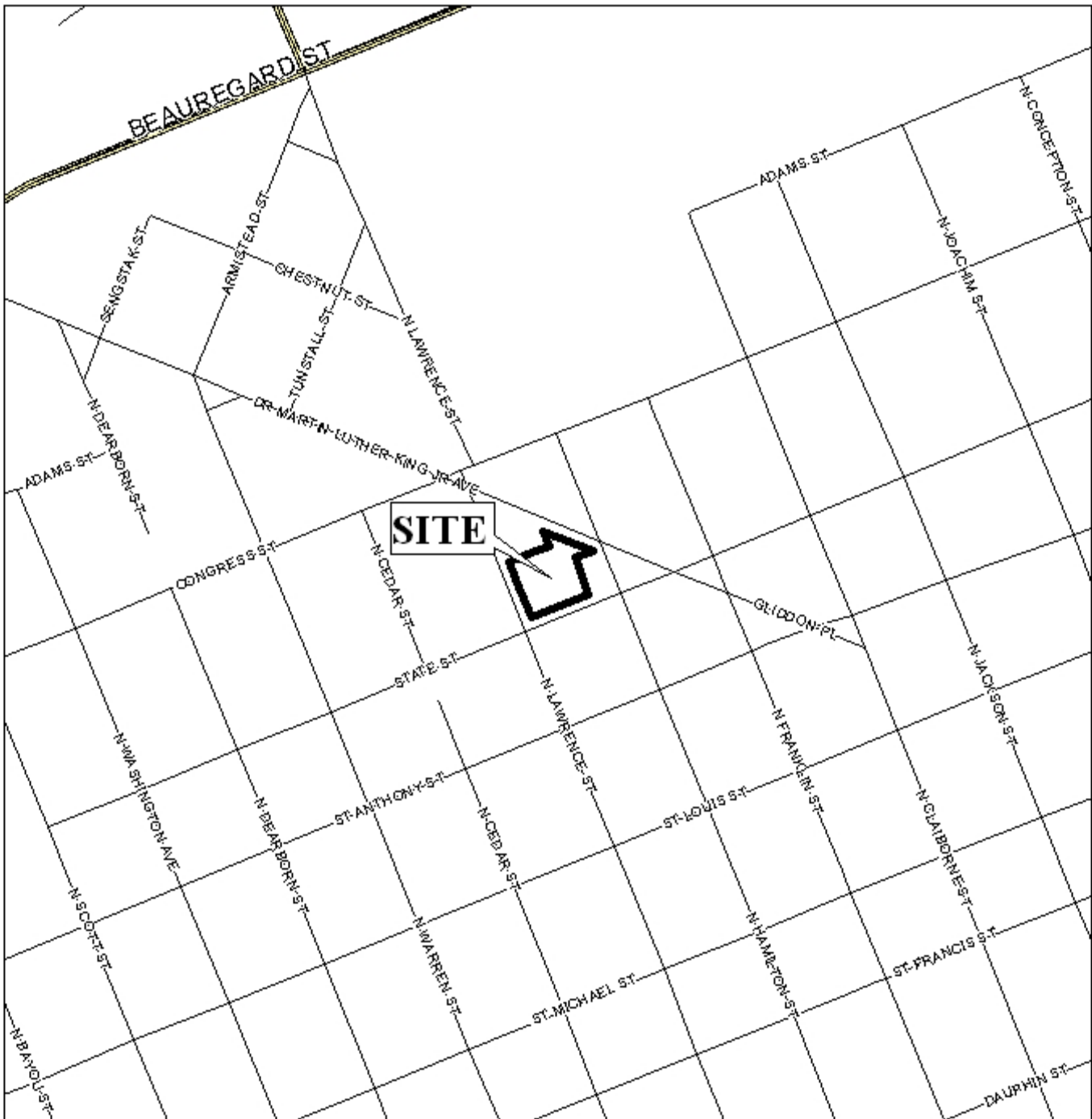
The entire site appears to be located within the “X-shaded” flood zone as depicted on FEMA maps, and the site may also be subject to hurricane storm surges. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required for flood issues prior to the issuance of any permits or land disturbance activities.

## **RECOMMENDATION**

**Subdivision:** With a waiver of Section V.D.9., this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Placement of a note on the final plat stating that the minimum building setback shall be determined by the applicable zoning district;
- 2) Compliance with Engineering comments *(1.) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2.) Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3.) A complete set of construction plans for the site work (including drainage, utilities, grading, stormwater systems, paving) will be required to be submitted with the Land Disturbance permit. These plans are to be submitted and approved prior to beginning any of the construction work.);*
- 3) Compliance with Fire comments *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 4) Retention of the lot size information in square feet on the final plat;
- 5) Retention of the corner radius dedication on the final plat;
- 6) Placement of a note on the final plat stating that the lot is limited to the existing curb-cuts (one to State Street, one to North Lawrence Street), with any change in size or location to be approved by Traffic Engineering, and to conform to AASHTO standards;
- 7) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 8) Placement of a note on the final plat stating that the approval of all applicable federal, state and local agencies will be required for flood issues prior to the issuance of any permits or land disturbance activities; and
- 9) Completion of the Subdivision process prior to any request for Certificate of Occupancy or Letters of Substantial Completion for work on the existing building, if applicable.

## LOCATOR MAP



APPLICATION NUMBER 25 & 26 DATE July 5, 2012

**APPLICANT** International Longshoremen's Associations Place Subdivision

REQUEST Subdivision, Planned Unit Development



NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial and residential land use.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

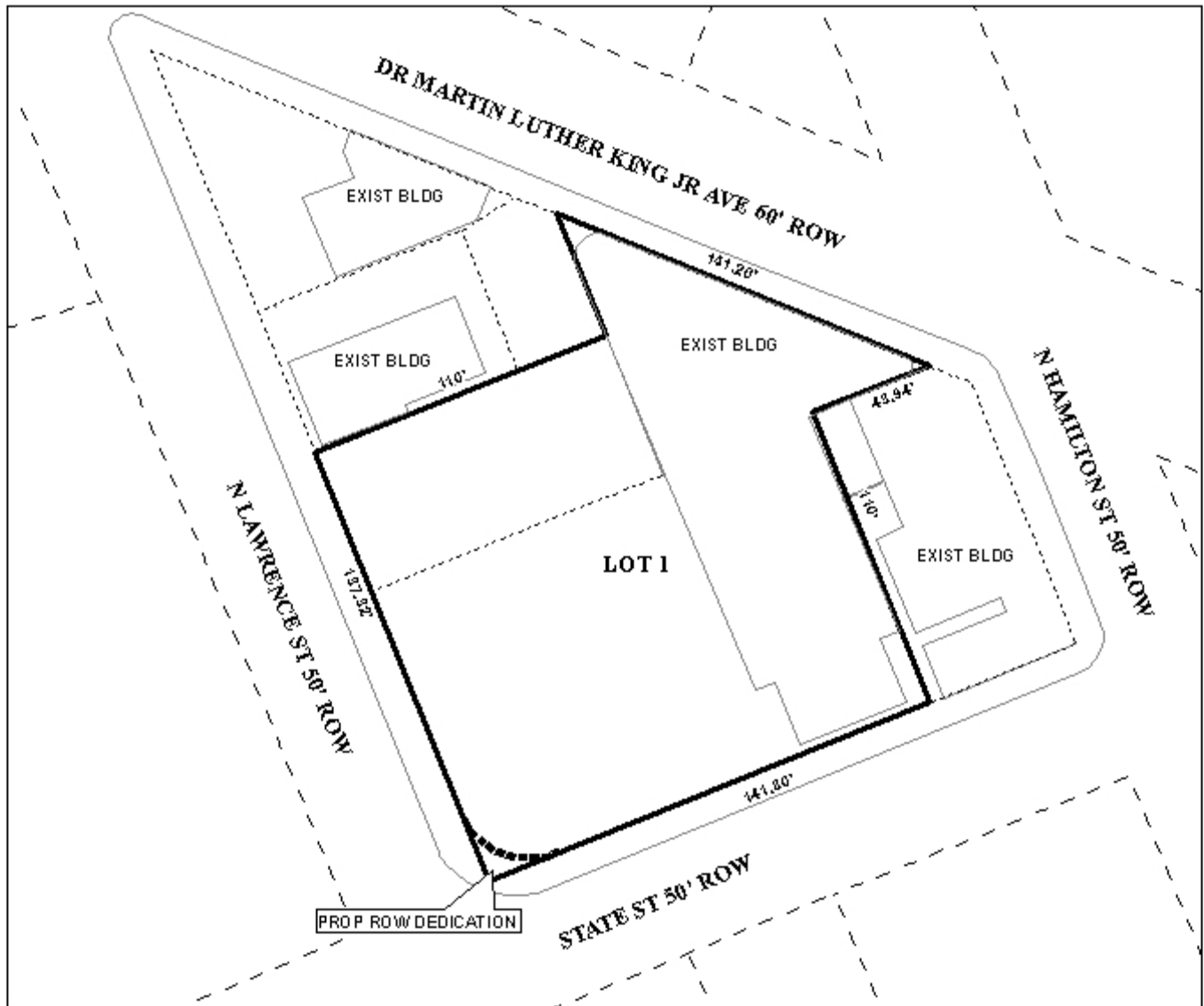


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N  
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# SITE PLAN



The site plan illustrates the existing buildings and proposed subdivision.

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 NTS