

**PLANNED UNIT DEVELOPMENT &
PLANNING APPROVAL
STAFF REPORT**

Date: August 8, 2013

DEVELOPMENT NAME

MacMae Venture LLC & Georgetown Partners

LOCATION

2785 and 2789 MacMae Drive
(South terminus of MacMae Drive).

**CITY COUNCIL
DISTRICT**

District 3

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

2 Lots / 4.0± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site with shared access between two building sites, *and Planning Approval to amend a previously approved Planning Approval to allow light warehousing in excess of 40,000 square feet in a B-3, Community Business District..*

**TIME SCHEDULE
FOR DEVELOPMENT**

None given

**ENGINEERING
COMMENTS**

1) Add a note to the PUD drawing stating that any work performed in the existing MacMae Drive ROW (right-of-way) such as grading, drainage, driveways, sidewalks, utility connections, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2) Add a note to the PUD drawing stating that any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3) Add a note to the PUD drawing stating that any work performed within this development must comply with all Engineering Department Policy Letters. 4) Sidewalk along the frontage of public ROW is required, unless a waiver is approved.

TRAFFIC ENGINEERING**COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site with shared access between two building sites, *and Planning Approval to amend a previously approved Planning Approval to allow light warehousing in excess of 40,000 square feet in a B-3, Community Business District.*

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The subject site consists of an existing 19,760 square-foot warehouse/office building on one lot, and an existing 12,000 square-foot warehouse/office building on another lot. With a proposed 11,200 square-foot warehouse/office building, and 1,600 square-foot covered loading dock, the combined sites would have 44,560 square feet of office/warehouse space. The site is zoned B-3, and the Zoning Ordinance allows up to 40,000 square feet of light warehousing/distribution use in B-3 districts. Such use over 40,000 square feet requires Planning Approval in B-3 districts. Since the proposed square footage is above 40,000, a Planning Approval application has been submitted which should be heard in conjunction with the PUD application. It should be noted

that the site received Planning Approval in 2007 for a similar proposal, but was never fully developed.

In light of the fact that Planning Approval is required to allow the proposed warehousing over 40,000 square feet in a B-3, district, and the fact that the previously approved Planning Approval must also be amended, this application should be heldover to the meeting of August 8th in order to be heard in conjunction with the amended Planning Approval application which has been submitted.

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for holdover to the meeting of August 8th in order to be heard in conjunction with the Planning Approval application to allow warehousing over 40,000 square feet in a B-3 district which has been submitted.

Revised for the August 8th meeting:

The Planned Unit Development was heldover at the July 11th meeting in order to be heard in conjunction with the Planning Approval application which had been submitted later. The Planning Approval request is to amend the 2007 Planning Approval to allow light warehousing in excess of 40,000 square feet in a B-3, Community Business District. The proposed project is essentially to complete the remainder of the 2007 project which was never fully developed.

It should be noted that PUD and Planning Approval are both site plan specific, thus any changes to the site plan must be approved by the Planning Commission. The site is composed of two legal lots located at the South terminus of MacMae Drive. There are no changes or expansion proposed for the 2789 MacMae Drive site, only for the 2785 MacMae Drive site. Since both lots share an access point and parking area, the PUD application is required to amend the previous approval.

In addition to the proposed building expansion, the site plan indicates expanded parking to support the building expansion and a small asphalt-surfaced laydown yard between the building expansion and the existing detention pond. Seven new parking spaces would be required, and nine are proposed. Including the proposed building expansion, the lot would have approximately 32,560 square feet, or 24% of total site coverage, well below the 50% maximum allowed in B-3 districts. The site was originally developed in 2008, with a building expansion in 2009 via an Administrative PUD since the expansion was less than originally approved in the 2007 PUD and Planning Approvals. Both lots were originally developed in compliance with landscaping, tree planting, buffering and sidewalks. Not indicated on the site plan is a compliant dumpster and enclosure. Therefore, the site plan should be revised to indicate a dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance.

As on the 2007 approvals, certain conditions should be required, amended to reflect subsequent amendments to the Zoning Ordinance. The site should be denied access to Belvedere Circle East and limited to the existing curb cut to MacMae Drive. As the site is adjacent to a residential district to the South, additional lighting for the expansion should be in compliance with Sections 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance. Two (2) revised site plans (one for Planning

Approval, one for PUD Approval) should be provided to the Planning Section of Urban Development reflecting conditions of approvals prior to the request of building or site development permits.

RECOMMENDATION

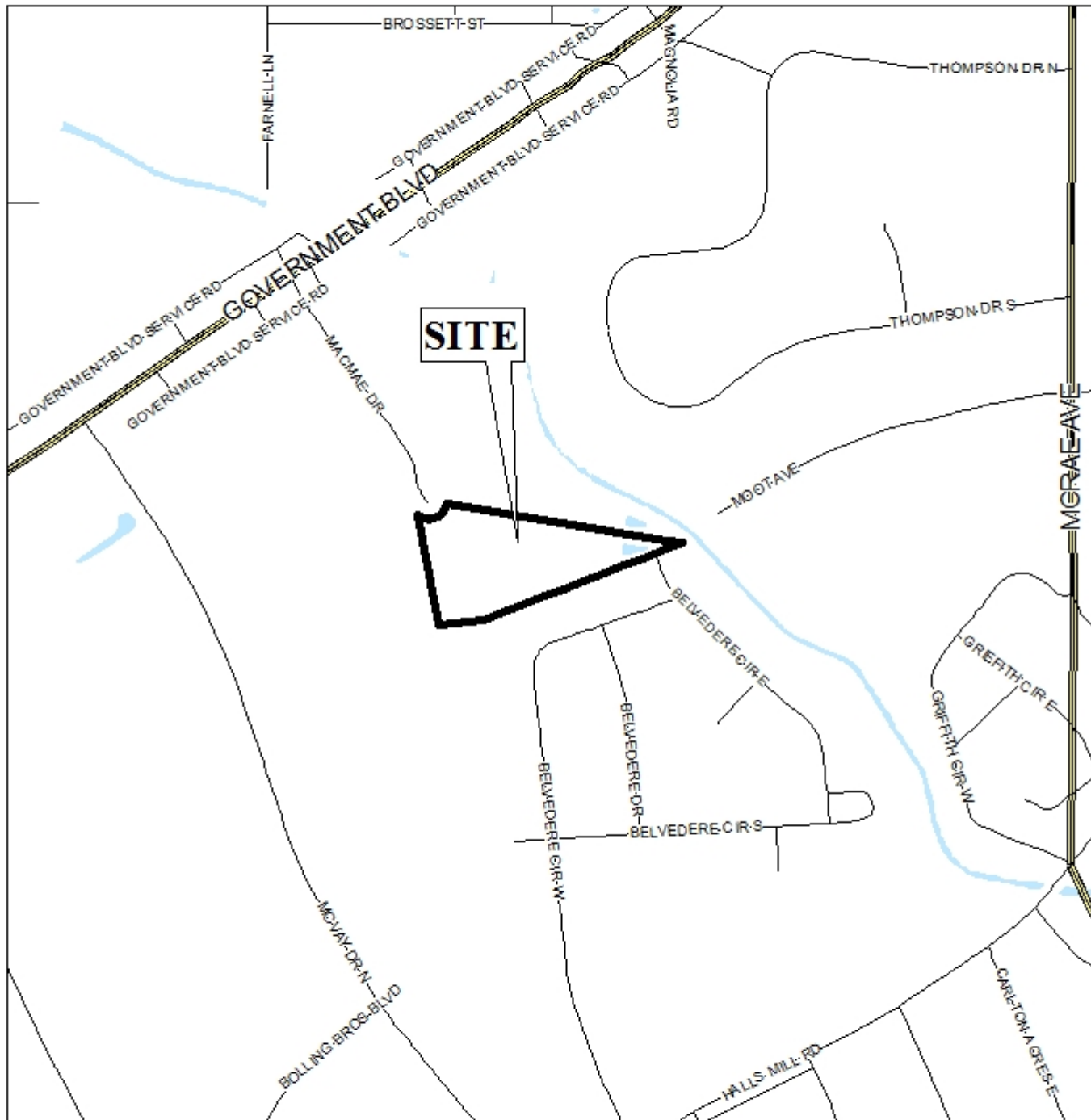
Planning Approval: *The request is recommended for Approval, subject to the following conditions:*

- 1) revision of the site plan to indicate a dumpster, in compliance with Section 64-4.D.9. of the Zoning Ordinance, or the placement of a note on the site plan stating that a dumpster will not be utilized and refuse collection will be curb-side or via private collection;*
- 2) placement of a note on the site plan stating that access to Belvedere Circle East is denied;*
- 3) placement of a note on the site plan stating that the site is limited to the existing curb cut to MacMae Drive;*
- 4) placement of a note on the site plan stating that additional lighting for the expansion shall be in compliance with Sections 64-6.A.3.c. and 64-6.A.8. of the Zoning Ordinance;*
- 5) subject to the Engineering comments: [1) Add a note to the PUD drawing stating that any work performed in the existing MacMae Drive ROW (right-of-way) such as grading, drainage, driveways, sidewalks, utility connections, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2) Add a note to the PUD drawing stating that any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3) Add a note to the PUD drawing stating that any work performed within this development must comply with all Engineering Department Policy Letters. 4) Sidewalk along the frontage of public ROW is required, unless a waiver is approved];*
- 6) subject to the Traffic Engineering comments: (Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards);*
- 7) subject to the Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*
- 8) subject to the Fire Department comments: (All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile);*
- 9) provision of two (2) revised site plans (one for Planning Approval, one for PUD Approval) to the Planning Section of Urban Development reflecting conditions of approval prior to the request of building or site development permits; and*
- 10) full compliance with all other municipal codes and ordinances.*

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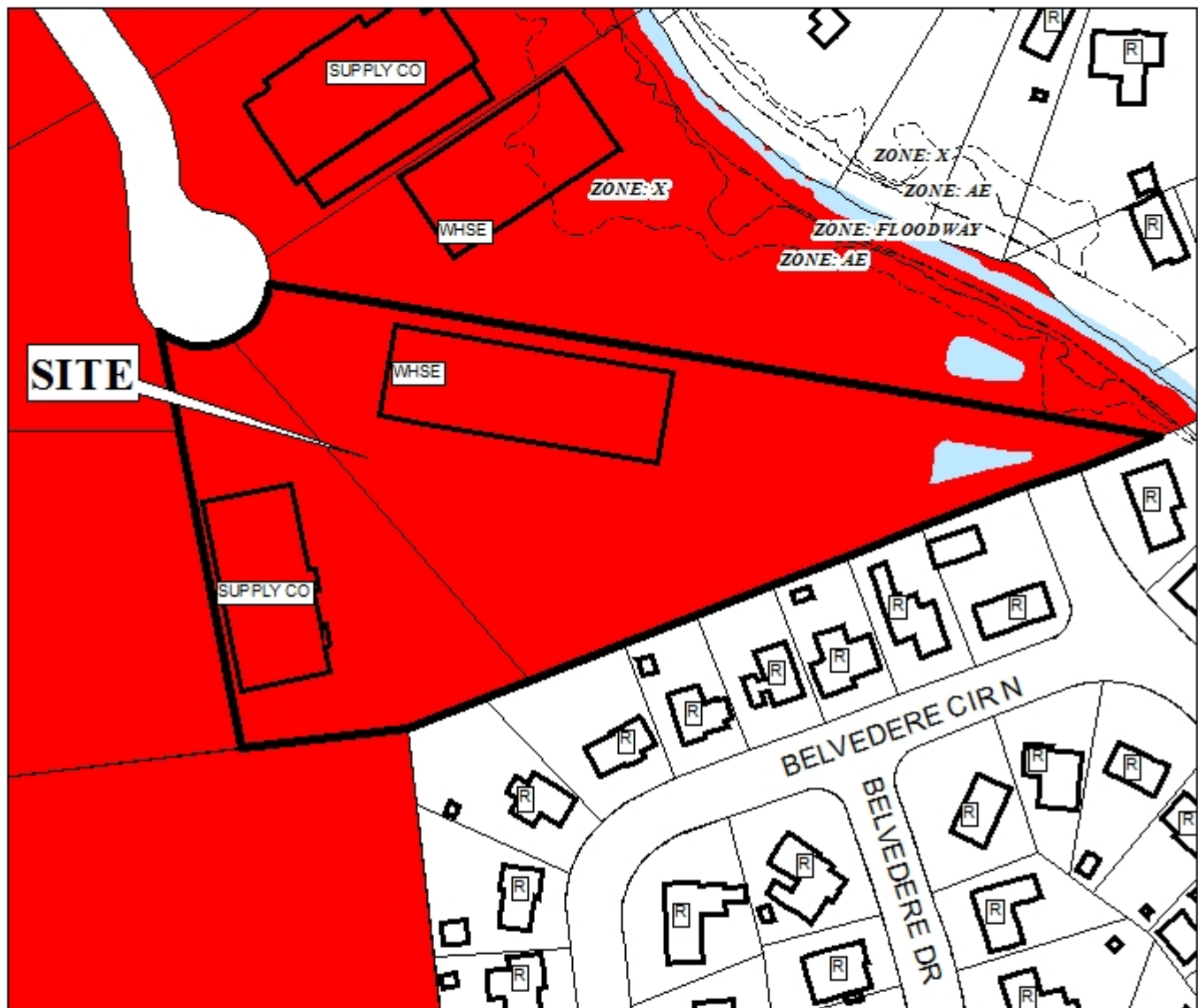
LOCATOR MAP



APPLICATION NUMBER 25 & 26 DATE August 8, 2013
APPLICANT MacMae Venture LLC & Georgetown Partners
REQUEST Planned Unit Development, Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by warehousing units to the northwest, and residential units to the northeast and south.

APPLICATION NUMBER 25 & 26 DATE August 8, 2013

APPLICANT MacMae Venture LLC & Georgetown Partners

REQUEST Planning Approval

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

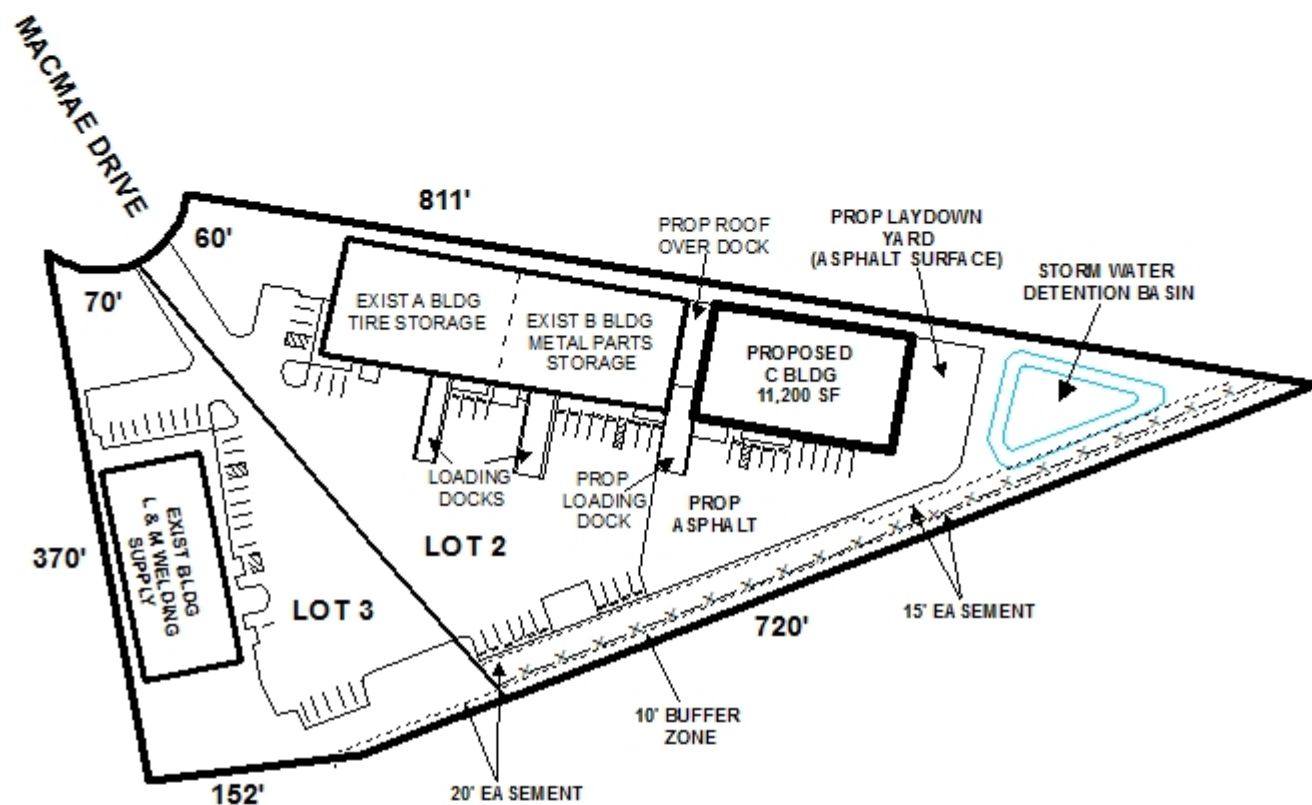


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SITE PLAN



The site illustrates the existing buildings, proposed building, dock, and roof.

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