

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: August 2, 2012**

DEVELOPMENT NAME Heron Lakes Subdivision, Phase One, Resubdivision of Lot 38

SUBDIVISION NAME Heron Lakes Subdivision, Phase One, Resubdivision of Lot 38

LOCATION 1080 Grand Heron Court East
(Southeast corner of Grand Heron Way and Grand Heron Court West)

**CITY COUNCIL
DISTRICT** District 4

AREA OF PROPERTY 2-Lots/0.8± acres

CONTEMPLATED USE Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow reduced side-yard setbacks in a proposed single-family subdivision, and Subdivision approval to create 2-lots from existing legal lot of record.

**TIME SCHEDULE
FOR DEVELOPMENT** None provided

**ENGINEERING
COMMENTS** Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).

**TRAFFIC ENGINEERING
COMMENTS** Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS** Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT
COMMENTS** All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS COMMENTS

MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity Assurance application is approved by Volkert Engineering, Inc.

REMARKS

The applicant is seeking Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow reduced side-yard setbacks in a proposed single-family subdivision, and Subdivision approval to create 2-lots from existing legal lot of record. The site is located in Council District 4, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to subdivide an existing lot to create two lots. As reduced setbacks are proposed and the lot is currently joined in an active Planned Unit Development, an amendment of the PUD application is also required.

The applicant specifically requests a 30-foot minimum building setback line and 30-foot rear yard setback; however, requests that a 10-foot side yard setback for Lot 1 and 7-foot side yard setbacks for Lot 2. No mention by the applicant of the request for increasing the density requirements for these lots.

It should be noted that in this case the minimum side yard setback allowed on the North side for Lot 2 of this development would be 8-feet, due to the adjacent lot is not included in the amended PUD.

There have been numerous amendments to the Heron Lakes Subdivision with regard to increased site coverage and modifications to the previously approved setbacks. Generally, those approvals required submission of documentation that the existing drainage system/detention was adequate to handle the increased site coverage requested.

Given the number of such requests and approvals, documentation should again be provided that the existing storm water system is adequate.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The preliminary plat illustrates a 50-foot right-of-way along Grand Heron Way and Grand Heron Court East are minor streets, which comply with the requirements of the Major Street Component of the Comprehensive Master Plan; therefore, no dedication would be required. As access management may be a concern, Lot 1 should be limited to the existing curb cut and Lot 2 should be limited to one curb cut with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

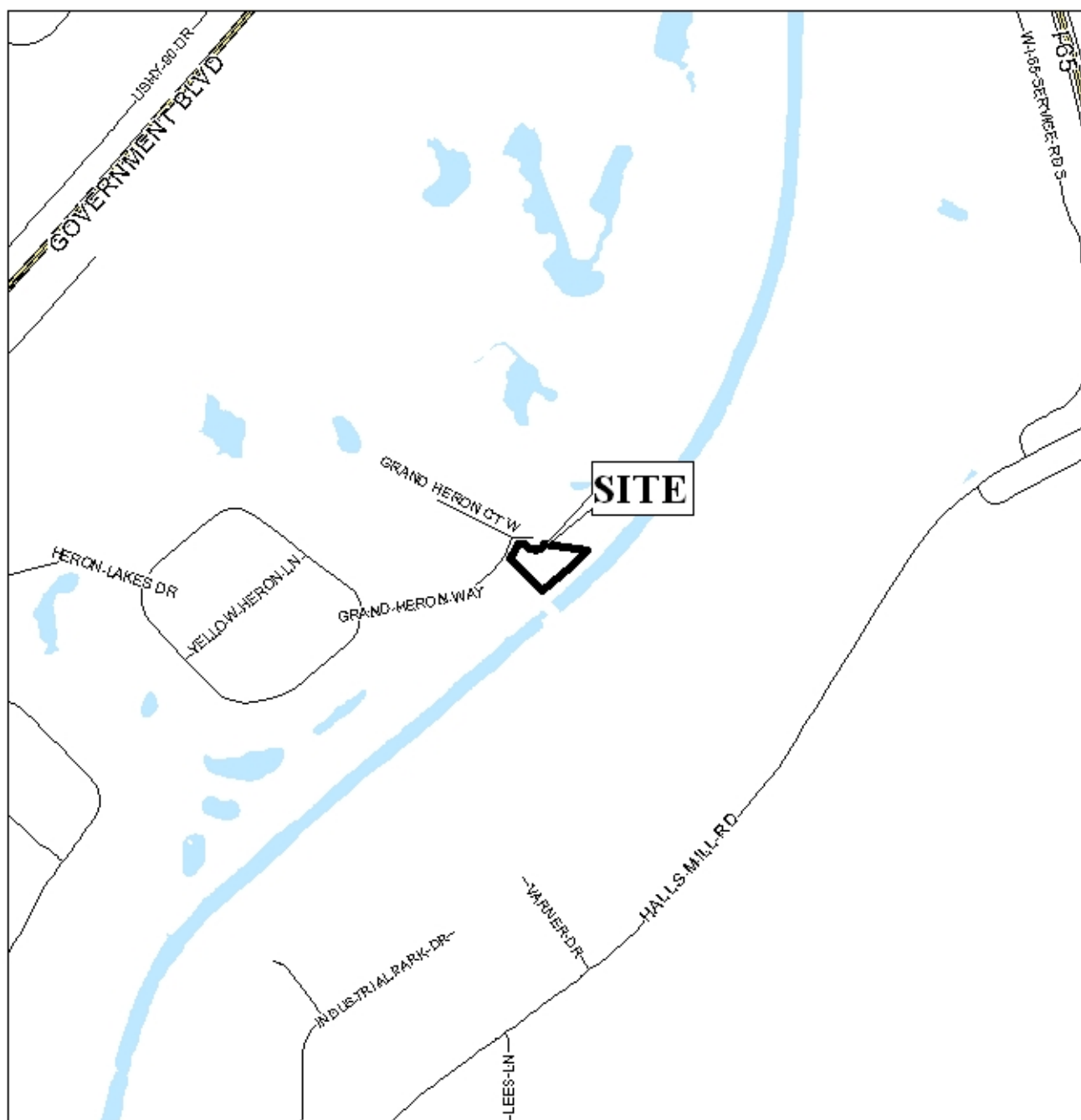
Subdivision: Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) compliance with Engineering Comments (*provide all of the required information on the Final Plat [i.e. signature blocks, signatures, certification statements, legal description, required notes]*) , to be approved by City Engineering Department prior to signing of the Final Plat;
- 2) the North side yard setback for Lot 2 should be changed to 8-feet and illustrated on the Final Plat;
- 3) the placement of all setbacks for both lots on the Final Plat; and
- 4) lot 1 should be limited to the existing curb cut and Lot 2 should be limited to one curb cut with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) submission of documentation that the existing storm water facilities are adequate to handle the additional lot, to be approved by City Engineering Department prior to signing of the Final Plat;
- 2) the North side yard setback for Lot 2 should be changed to 8-feet and illustrated on the revised PUD site plan;
- 3) the placement of all setbacks for both lots on the revised PUD site plan;
- 4) submission of two copies of the revised PUD site plan to the Urban Development office prior to the signing of the Final Plat; and
- 5) full compliance with all other codes and ordinances.

LOCATOR MAP



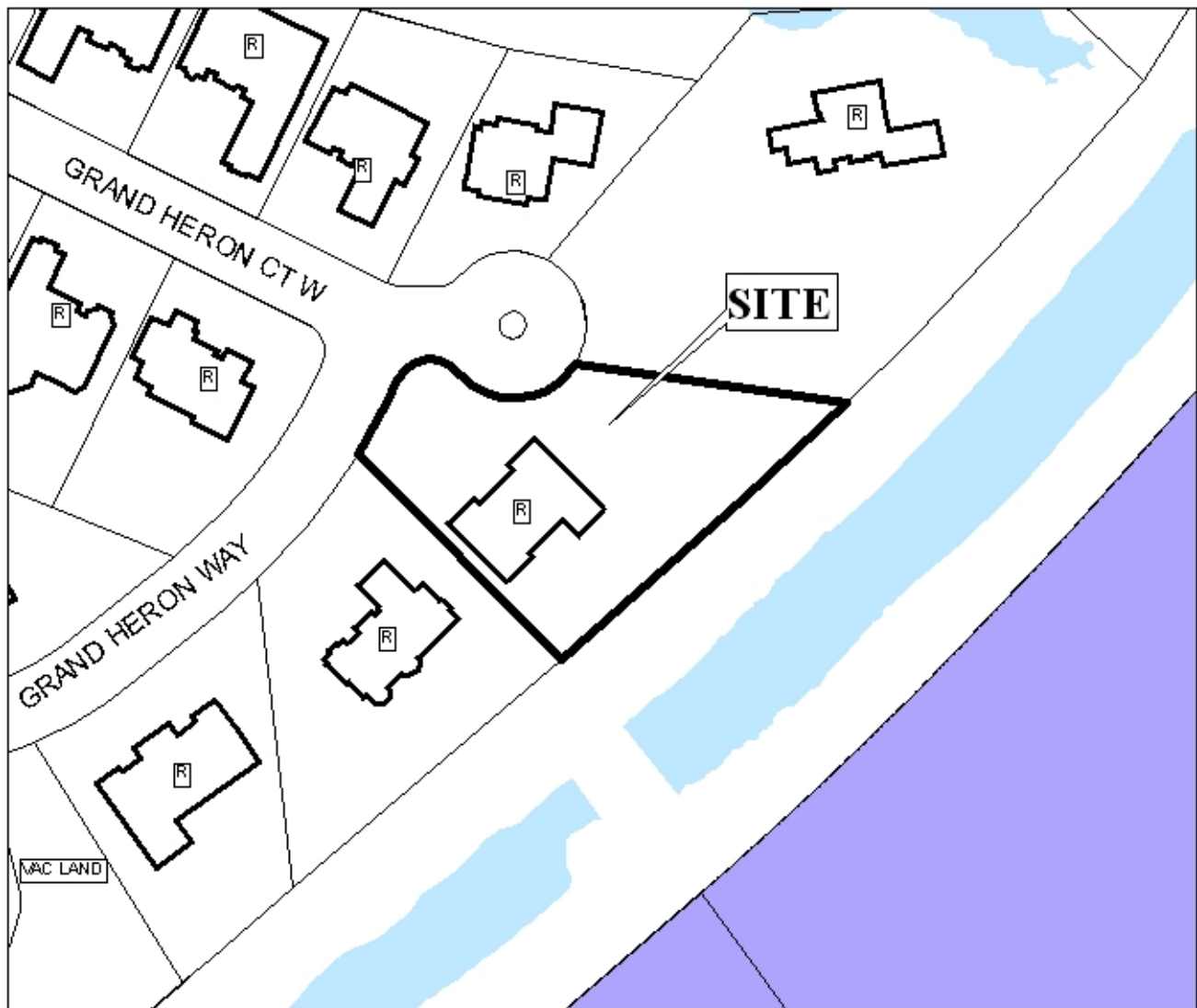
APPLICATION NUMBER 25 & 26 DATE August 2, 2012

APPLICANT Heron Lakes Subdivision, Phase One, Resubdivision of Lot 38

REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residences are located to the north, south, and west of the site.

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LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

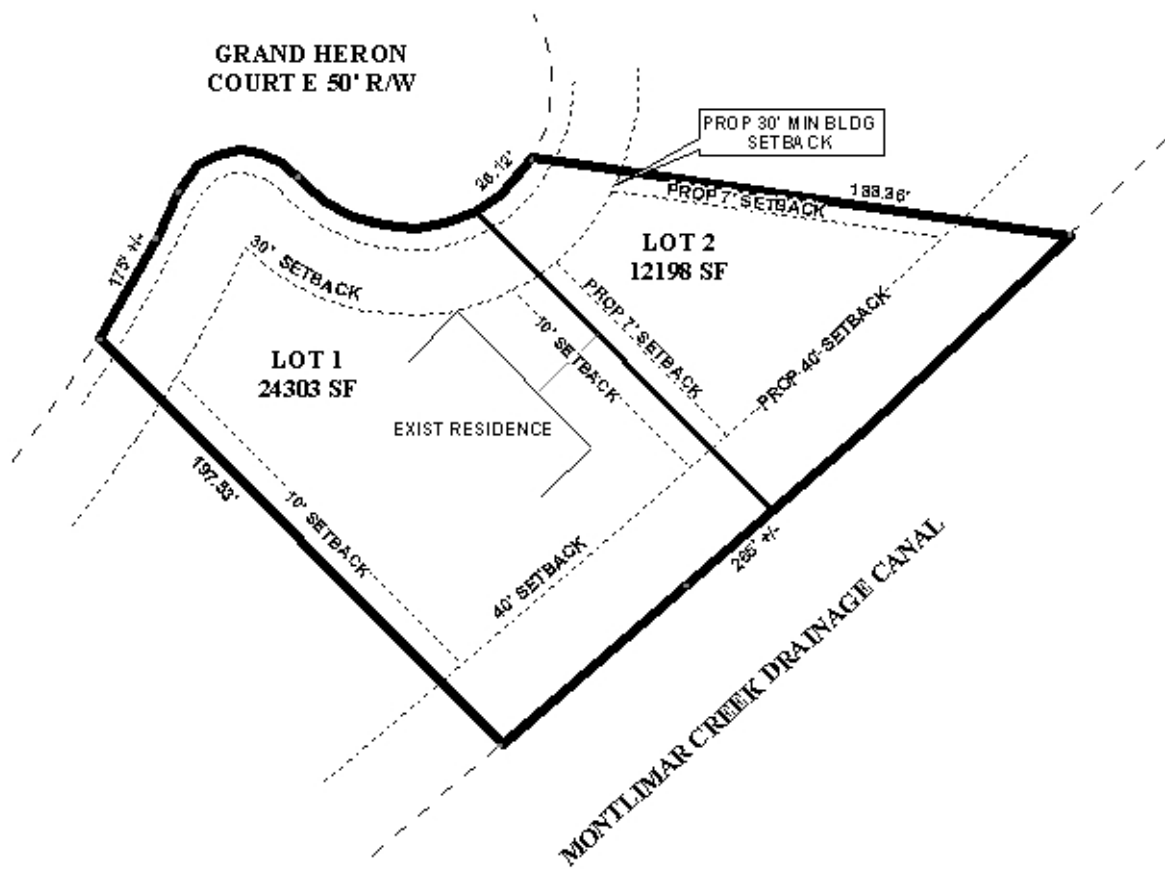


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SITE PLAN



The site plan illustrates the proposed lot configuration and setbacks.

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