

**PLANNING APPROVAL &  
SUBDIVISION STAFF REPORT****Date: April 4, 2013**

<b><u>NAME</u></b>	Cottage Hill – Azalea Subdivision
<b><u>SUBDIVISION NAME</u></b>	Cottage Hill – Azalea Subdivision
<b><u>LOCATION</u></b>	751 Azalea Road (Southeast corner of Azalea Road and Cottage Hill Road)
<b><u>CITY COUNCIL DISTRICT</u></b>	District 4
<b><u>PRESENT ZONING</u></b>	B-2, Neighborhood Business District
<b><u>AREA OF PROPERTY</u></b>	1 lot / 0.3 acres $\pm$
<b><u>CONTEMPLATED USE</u></b>	Planning Approval to allow a seafood store in a B-2, Neighborhood Business District, and Subdivision approval to create one legal lot.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Work to commence upon receipt of necessary approvals.
<b><u>ENGINEERING COMMENTS</u></b>	<p>The following comments should be addressed prior to review, acceptance and signature by the City Engineer:</p> <ol style="list-style-type: none"><li>1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, legal description, required notes).</li><li>2. Provide a signature block and signature from the Traffic Engineering Department.</li><li>3. Add a note to the Plat stating that storm water detention will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 &amp; #65-045).</li><li>4. Dedicate a radius at the corner of Azalea Blvd and Cottage Hill Rd of sufficient size as approved by the City Engineer and Traffic Engineer.</li></ol>

**TRAFFIC ENGINEERING**

**COMMENTS** Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Access to Shelly Drive is denied. Access to Cottage Hill Road should be narrowed to 24', located as far as practical from the intersection and limited to right-in, right-out only.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

**FIRE DEPARTMENT****COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

**REMARKS**

The applicant is requesting Planning Approval to allow a seafood store in a B-2, Neighborhood Business District, and Subdivision approval to create one legal lot. Seafood stores require Planning Approval when located in B-2 districts.

The review required for Planning Approval examines the applicant's location and site plan with regard to transportation, parking and access, public utilities and facilities, traffic congestion and hazard, and to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan specific; therefore any future changes to the overall site plan must be submitted for Planning Approval review.

The site has been commercially-zoned since at least 1966, prior to the adoption of the current Zoning Ordinance. Aerial photos indicate that the site has been developed since at least 1960. As the proposed use of the site requires Planning Approval, a Subdivision application is also required to create one legal lot out of portions of two lots created in 1943 (prior to the adoption of the current Subdivision Regulations).

The applicant proposes to use the building for a seafood store, which includes the sale of cooked seafood products for consumption off-site. The site plan depicts new screened dumpsters and a can wash area, to be located on the North side of the building, away from adjacent residential uses. A 10-space parking area, new trees and new landscape areas are also depicted.

The site abuts commercial uses to the East, and is across the street (to the North and West) from other commercial uses in B-2 districts. To the south, across Shelley Drive, are residential uses in an R-1, Single-Family Residential district.

The existing building has a "loading dock" on the rear, which apparently is accessed via a pedestrian ramp leading to Shelley Drive. The proposed site plan does not depict the ramp. Also, it appears that a portion of the sidewalk servicing the building extends into the right-of-way of Shelley Drive. The existing building itself abuts the Shelley Drive (with no setback at one corner), and with between a 6 to 9 foot setback from the East property line.

A seafood store, due to the nature of the product, can result in offensive smells and attract nuisance wildlife. The location of the proposed dumpster and can wash on the North side of the facility will minimize smells which may emanate from discarded food. The applicant should

also provide information regarding where and how deliveries will be made to the store (where will the product be brought in), and how often the dumpster will be emptied. It should be pointed out that while it appears that the improvements to the site will mitigate possible undesirable side effects of a seafood store, the conformance with the items in the following paragraphs may result in the site not being usable in a manner compliant with the Zoning Ordinance.

The site fronts onto two proposed major streets, Azalea Road and Cottage Hill Road, and Shelley Drive, a minor street. The Major Street Plan component of the Comprehensive Plan states that the right-of-way for each of the proposed major streets should be 100-feet, thus dedication sufficient to provide 50-feet from centerline will be required along each street, as each street appears to have only between 60 and 80 feet of right-of-way, according to the preliminary plat.

The 25-foot minimum building setback line should be revised on the site plan and plat to reflect any required dedication.

As the property has corners on two streets, the dedication of a corner radius compliant with the requirements of Engineering, Traffic Engineering and Section V.D.6. of the Subdivision Regulations will be required.

Since the site has frontage onto two proposed major streets and a minor street, access management is a concern. The site currently has large curb-cuts to all abutting streets. Since Shelley Drive is a minor residential street, the curb-cut should be closed and landscaped with sod. Traffic Engineering has requested that the curb-cut to Cottage Hill Road be located as far to the East from the intersection as possible, be reduced in width to 24-feet, and be designed to only allow right in, right out traffic. The site plan also depicts a reduction in width for the existing curb-cut to Azalea Road, with its narrowing down to approximately 24-feet from a nearly continuous curb-cut at this time: a right in, right out restriction may also be appropriate for the site's frontage along Azalea Road. The size, design and location of any curb-cut modifications must be approved by Traffic Engineering and comply with AASHTO standards.

The existing building is approximately 2,800 square feet, thus a minimum of 10 parking spaces will be required. The site plan depicts 10 spaces. It should be pointed out that the dedication which may be required along Azalea Road will result in an on-site maneuvering area that may not be able to accommodate 90-degree parking due to insufficient width. The applicant should revise the site plan to accommodate any required right-of-way dedication. Any parking areas abutting Shelley Drive should be screened with a 3-foot high evergreen hedge or fence per the requirements of the Zoning Ordinance

New trees and landscape areas are depicted on the site plan. As dedication may be required along both major streets, the site plan should be revised to reflect right-of-way dedication, and all calculations regarding the minimum amount of trees and landscape area should be revised.

## **RECOMMENDATION**

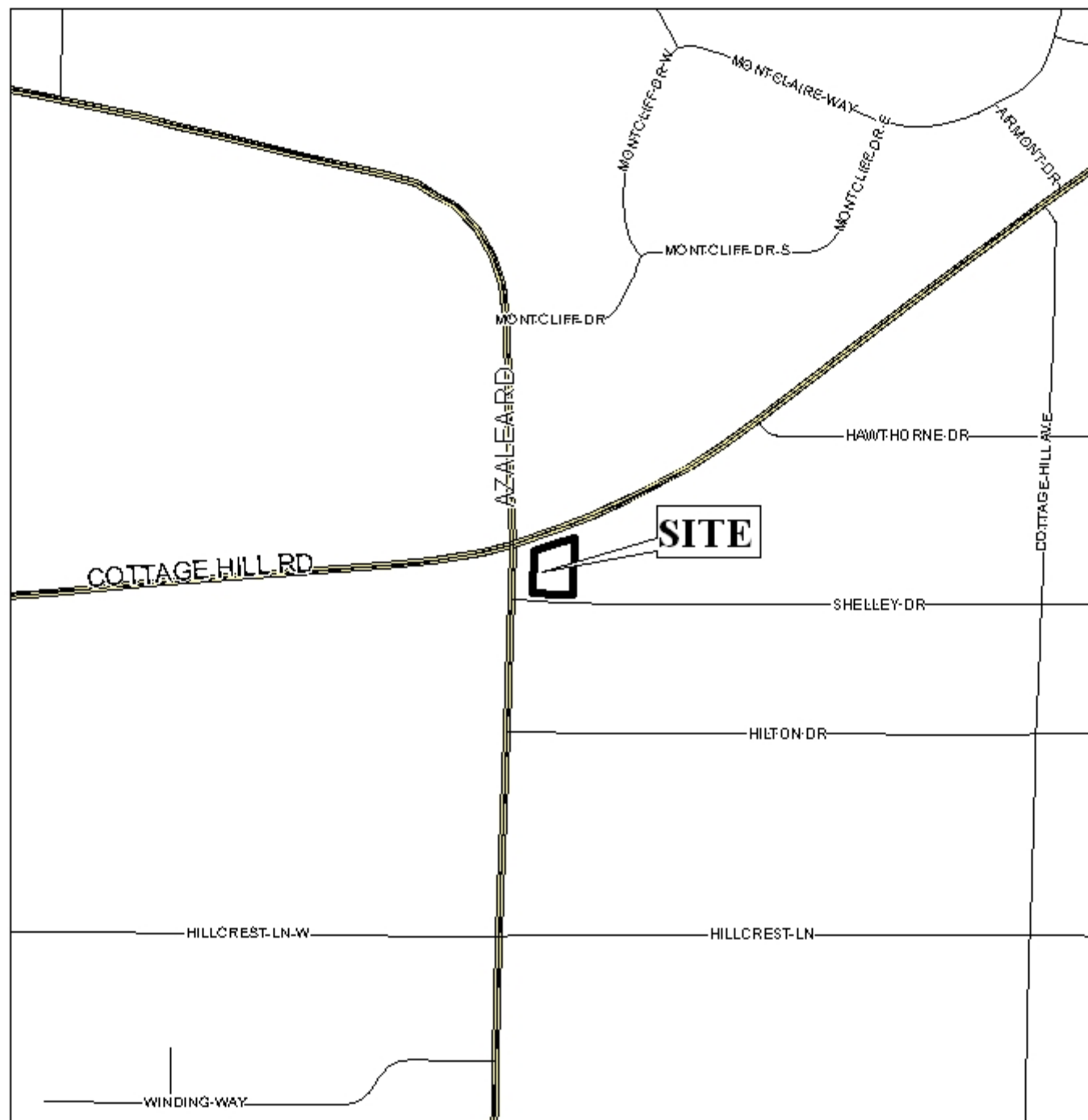
**Planning Approval:** The request is recommended for Holdover until the May 2, 2013 meeting so that the following revisions can be submitted by April 15th:

- 1) Revision of the site plan to reflect dedication of right-of-way along Cottage Hill Road and Azalea Road, to provide 50-feet from centerline;
- 2) Revision of the site plan to reflect dedication of a corner radius compliant with the requirements of Engineering, Traffic Engineering and Section V.D.6. of the Subdivision Regulations;
- 3) Revision of the site plan to reflect closure and landscaping of the curb-cut to Shelley Drive, and alteration to both the Azalea Road curb-cut (right in, right out only), and the Cottage Hill Road curb-cut (narrow to 24 feet, move as far East as possible, and limit to right in, right out);
- 4) Revision of the site plan to depict adjustments to parking layout and circulation because of dedication and curb-cut closures and width reductions;
- 5) Revision of the site plan regarding tree and landscape compliance, to reflect right-of-way dedication and other site modifications;
- 6) Revision of the site plan to reflect a 3-foot high vegetative buffer or fence where the parking abuts Shelley Drive;
- 7) Revision of the narrative to state how often the dumpsters will be emptied, and how deliveries will be made to the site (by front door or rear door); and
- 8) Revision of the site plan to depict the 25-foot minimum building setback line.

**Subdivision:** The request is recommended for Holdover until the May 2, 2013 meeting so that the following revisions can be submitted by April 15th:

- 1) Revision of the plat to reflect dedication of right-of-way along Cottage Hill Road and Azalea Road, to provide 50-feet from centerline;
- 2) Revision of the plat to reflect dedication of a corner radius compliant with the requirements of Engineering, Traffic Engineering and Section V.D.6. of the Subdivision Regulations;
- 3) Revision of the plat to add a note stating that access to Shelley Drive is denied, and that access to Azalea Road and Cottage Hill Road is limited to one curb-cut to each street, with the width limited to 24-feet, and to be right in, right out only, with the size, design and location to be approved by Traffic Engineering and to comply with AASHTO standards; and
- 4) Revision of the site plan to depict the 25-foot minimum building setback line.

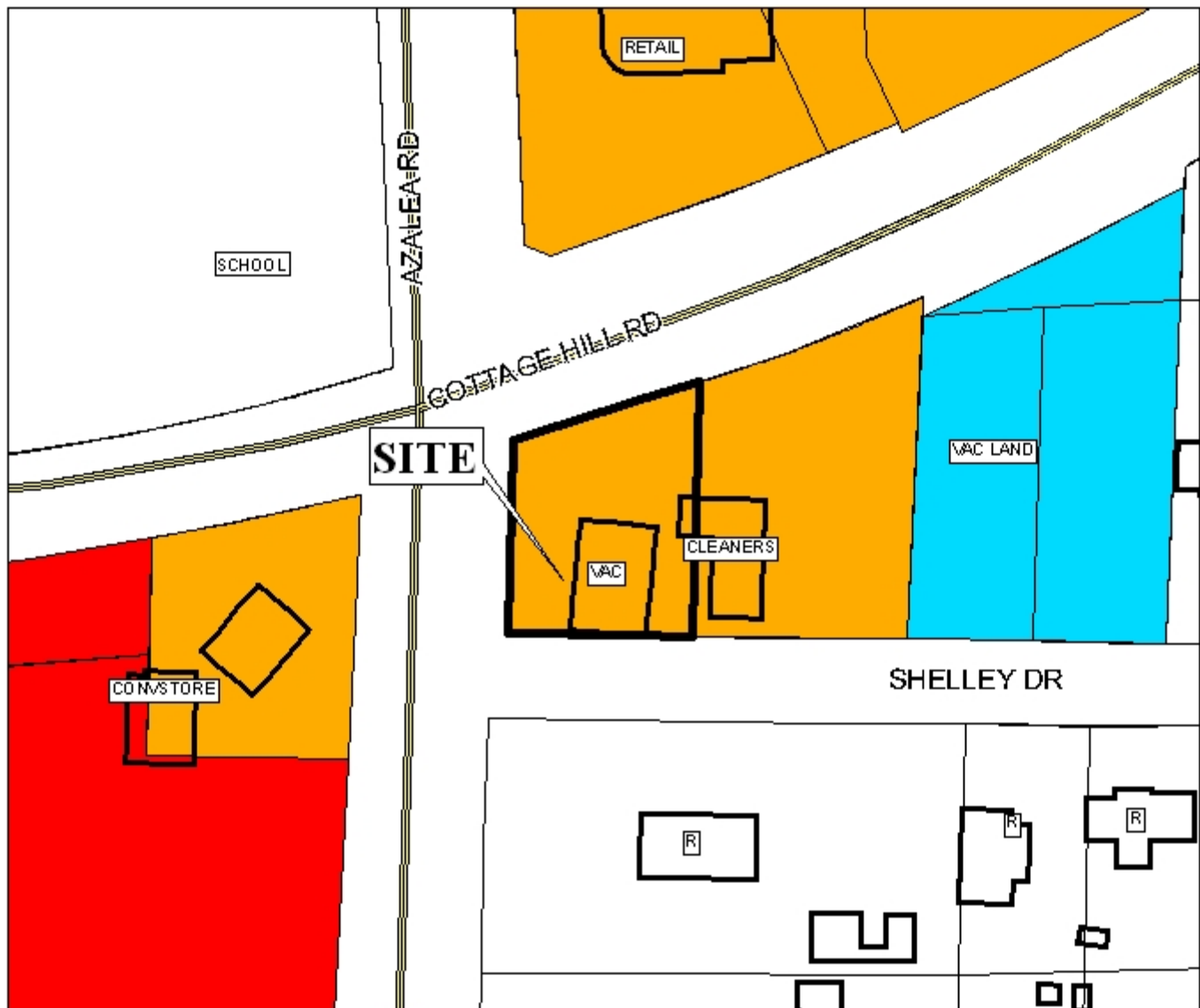
# LOCATOR MAP



APPLICATION NUMBER 25 & 26 DATE April 4, 2013  
APPLICANT Cottage Hill - Azalea Subdivision  
REQUEST Subdivision, Planning Approval

N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Commercial land use is located to the north, east, and west of the site. Single-family residences are located to the south of the site.

APPLICATION NUMBER 25 & 26 DATE April 4, 2013

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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N  
NTS

# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



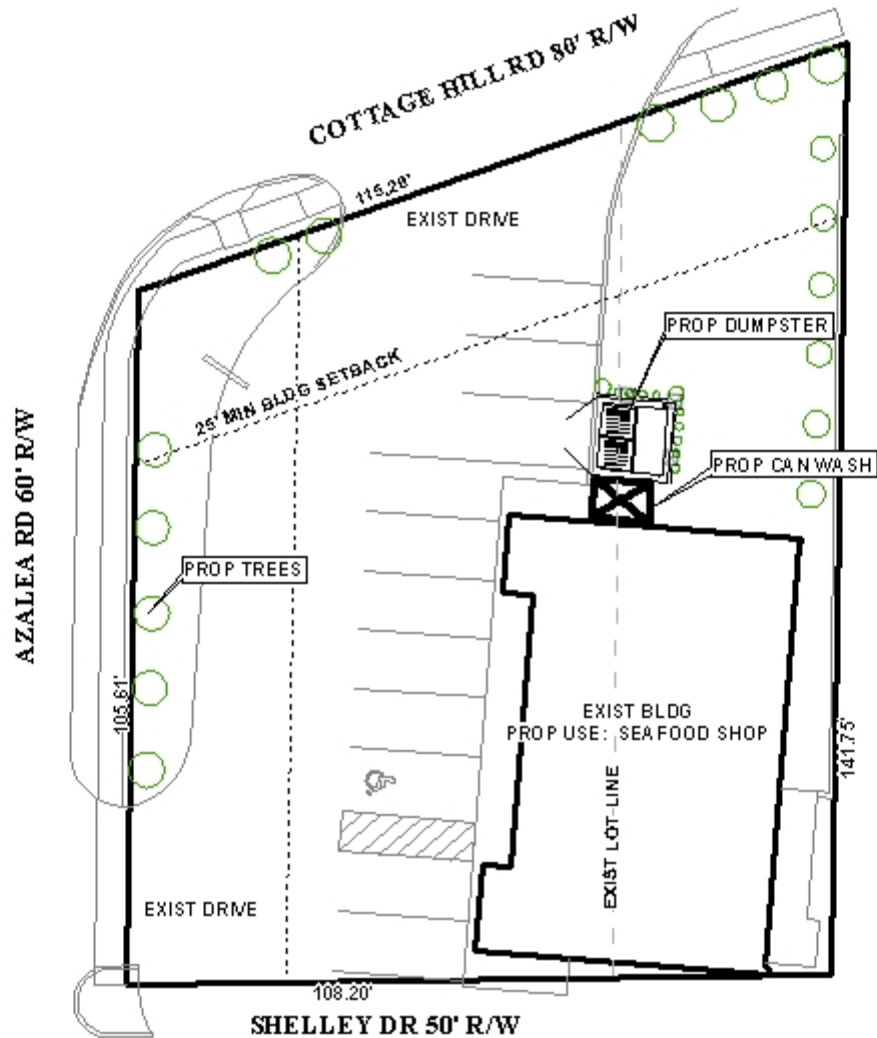
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# SITE PLAN



The site plan illustrates the existing structures, proposed structures, and proposed landscaping.

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N  
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