

**SUBDIVISION, PLANNED UNIT
DEVELOPMENT & SIDEWALK WAIVER
REQUEST STAFF REPORT****Date: March 7, 2013**

NAME I-65 East Service Road Development Subdivision,
Resubdivision of Lot 1

SUBDIVISION NAME I-65 Service Road Development Subdivision,
Resubdivision of Lot 1

LOCATION 925 East I-65 Service Road South (East side of East I-65
Service Road South extending to the West and North sides
of International Drive)

**CITY COUNCIL
DISTRICT** District 5

PRESENT ZONING B-3, Community Business District

AREA OF PROPERTY 2 Lots/26.8 \pm Acres
1 Lot/15.6 \pm Acres

CONTEMPLATED USE *Subdivision* approval to create two legal lots of record,
Planned Unit Development approval to allow multiple
buildings on a single building site and *Sidewalk Waiver*
approval to waive construction of sidewalks along East I-65
Service Road South.

TIME SCHEDULE None Specified

ENGINEERING

COMMENTS 1. Any work performed in the existing I-65 Service Road
ROW (right-of-way) such as grading, drainage, driveways, sidewalks, utility connections,
irrigation, or landscaping will require a permit from ALDOT. A copy of the ALDOT permit
application package and plans will need to be submitted with the Land Disturbance Permit
application; 2. Any and all proposed development will need to be in conformance with the Storm
Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance
#65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and,
the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control; 3. Any
proposed dumpster pad(s) must be contained and directed to a surface drain that is connected to
the Sanitary Sewer system. The drainage from any dumpster pads cannot discharge to storm
sewer; 4. An ADEM NOI is required for any land disturbance activity over 1 acre. Provide a
copy of the ADEM registration information for the site prior to the issuance of a Land
Disturbance permit; 5. A copy of the USACOE Section 404 Permit must be submitted prior to

any construction begins within the existing isolated wetlands; 6. A permit will be required from ALDOT for the proposed revisions to the existing drainage system along, and under, the Service Road; and 7. One (1) existing easement is under review for vacation. Show and label all existing easements, recently vacated easements (if any), and any easements that are proposed to be vacated.

Sidewalk Waiver: Due to the existing site conditions, existing drainage ditches, limited usable land adjacent to the existing I-65 Service Road it is recommended that this request be approved.

TRAFFIC ENGINEERING

COMMENTS

I-65 East Service Road is an ALDOT roadway. Driveway number, size, location and design to be approved by ALDOT and Traffic Engineering and conform to AASHTO standards. Traffic Engineering has no objection to the sidewalk waiver.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS

COMMENTS

No Comments

REMARKS

The applicant is requesting Subdivision approval to create two legal lots of record from one legal lot of record, Planned Unit Development approval to allow multiple buildings on a single building site and Sidewalk Waiver approval to waive construction of sidewalks along East I-65 Service Road South.

The purpose of this application is to create two lots from one legal lot, with proposed Lot 1B being developed into auto dealership with multiple buildings, thereby requiring the Planned Unit Development application.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site fronts East I-65 Service Road South, a service road of I-65 (Beltline Highway) for the movement of local traffic along the I-65 corridor, with a combined right-of-way of approximately 300-feet.

Access for proposed Lot 1B should be limited to the proposed curb cut along East I-65 Service Road South with size, design and location to be approved by Traffic Engineering and ALDOT, and comply with AASHTO standards.

The 25-foot minimum building setback line is depicted on the preliminary plat along East I-65 Service Road South; and should be retained on the Final Plat. The Final Plat should retain the labeling of the lots with its size in square feet/acres, or placement of a table on the plat with the same information.

Regarding the proposed two-lot Subdivision, proposed Lot 1A has frontage on both the Interstate 65 Service Road as well as a private street associated with Colonial Bel Air Mall. Proposed Lot 1B has frontage onto the Interstate 65 Service Road, a private street associated with Colonial Bel Air Mall and International Drive. Lot 1A should be limited to two (2) curb cuts onto the service road, while Lot 1B should be limited to one curb cut, with the size, design and location to be approved by Traffic Engineering and ALDOT as proposed, and in conformance with AASHTO standards.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Much of the Subdivision site appears to contain wetlands, as identified by available National Wetlands Inventory data, and some wetland areas are delineated on the PUD site plan, but not on the Subdivision plat: wetlands should be delineated on both the site plan and the plat. The potential presence of wetlands indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

Also illustrated on the preliminary plat are several easements; therefore, prior to signing of the Final Plat all easements vacated/active should be illustrated on the Final Plat and the site plan.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is **site plan specific**, thus any changes to the site plan must be approved by the Planning Commission.

As depicted on the proposed PUD site plan are three buildings a 12,873 square-foot sales area, a 36,320 square feet service area building, a non-public carwash building, 289 proposed spaces for

customer and employee parking, 269 proposed spaces for sales inventory; and approximately 172,432± square-feet of total landscaping.

Dumpster location(s) for the site are depicted on the site plan seem to comply with Chapter 64-4.D.9. of the Zoning Ordinance; therefore, the applicant should provide a detail drawing to be submitted when permitting for and place a note on the site plan stating that dumpsters will be completely screened from view and tied to sanitary sewer.

One issue that could be considered critical to the development of the site is the percentage of frontage landscaping. The applicant illustrates landscaping of the proposed site; however, the plan does not comply with the frontage landscaping regulations. Therefore, if approved, compliance with the landscaping percentages and tree planting requirements of the Zoning Ordinance should be required. The site is 15.6± acres; therefore, 12 percent (81,648 square feet) of the **total** site must be landscaped, of this 12 percent, 60 percent (48,989 square feet) of the landscaping must be located between the building and the right-of-way. On many commercial developments, this could be an issue; however, considering the shape of the site the PUD can make allowances. This site may be one of the sites that allowance may be made. Due to such a large lot, the site only provides approximately 291 linear feet of road frontage along East I-65 Service Road South, a significant amount of frontage on a private road within Colonial Bel Air Mall. Therefore, for calculations pertaining to the frontage requirements for the approval of the Planned Unit Development, the frontage landscaping between the private road and the carwash building should be included in the frontage landscaping calculations.

Regarding the Sidewalk Waiver request, the applicant states the sidewalk would be located adjacent to an open ditch, which would be dangerous for pedestrians.

Not having sidewalks on East I-65 Service Road South does not negate the fact that a sidewalk is required by the Subdivision Regulations. It should be noted that an analysis of GIS shows that there are no sidewalks in the vicinity of the site and that between May 1995 to present date two sidewalk waiver applications have been applied for and approved in the vicinity of this site.

RECOMMENDATION

Subdivision: Based upon the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) retention of the lot sizes in both square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 2) retention of the 25' minimum building setback line on the Final Plat;
- 3) placement of a note on the Final Plat stating the lot 1A is limited to two curb cut to East I-65 Service Road South and Lot 1B is limited to one curb cut to East I-65 Service Road South, with the size, design to be approved by Traffic Engineering, and ALDOT and conform to AASHTO standards;
- 4) placement of a note on the Final Plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 5) subject to the Engineering comments: *(1. Any work performed in the existing I-65 Service Road ROW (right-of-way) such as grading, drainage, driveways, sidewalks,*

utility connections, irrigation, or landscaping will require a permit from ALDOT. A copy of the ALDOT permit application package and plans will need to be submitted with the Land Disturbance Permit application; 2. Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control; 3. Any proposed dumpster pad(s) must be contained and directed to a surface drain that is connected to the Sanitary Sewer system. The drainage from any dumpster pads cannot discharge to storm sewer; 4. An ADEM NOI is required for any land disturbance activity over 1 acre. Provide a copy of the ADEM registration information for the site prior to the issuance of a Land Disturbance permit; 5. A copy of the USACOE Section 404 Permit must be submitted prior to any construction begins within the existing isolated wetlands; 6. A permit will be required from ALDOT for the proposed revisions to the existing drainage system along, and under, the Service Road; and 7. One (1) existing easement is under review for vacation. Show and label all existing easements, recently vacated easements (if any), and any easements that are proposed to be vacated.); and

- 6) compliance with Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile).*

Planned Unit Development: Based upon the preceding, this application is recommended for approval subject to the following conditions:

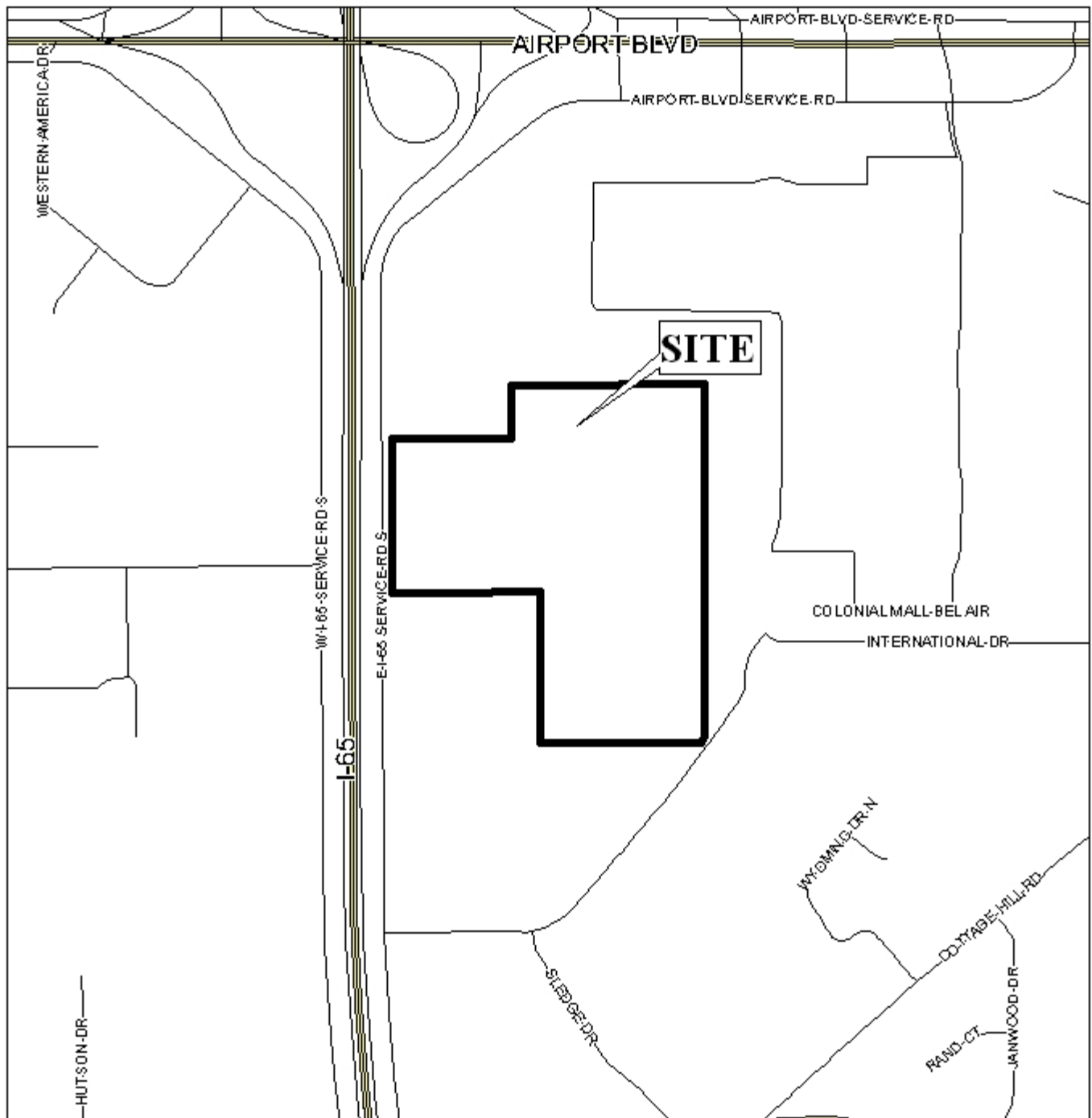
- 1) retention of the lot sizes in both square feet and acres on the site plan, or the furnishing of a table on the site plan providing the same information;
- 2) revision of the site plan to provide the front and total landscaping square footage in percentages as illustrated on the Planned Unit Development application;
- 3) revision of the site plan to provide dumpster buffering, in compliance with Section 64-4.D.9. of the Zoning Ordinance, and tied to sanitary sewer;
- 4) labeling of any required detention area as common area and the placement of a note on the site plan stating that the maintenance of the common area is the responsibility of the property owners;
- 5) subject to the Engineering comments: *(1. Any work performed in the existing I-65 Service Road ROW (right-of-way) such as grading, drainage, driveways, sidewalks, utility connections, irrigation, or landscaping will require a permit from ALDOT. A copy of the ALDOT permit application package and plans will need to be submitted with the Land Disturbance Permit application; 2. Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control; 3. Any proposed dumpster pad(s) must be contained and directed to a surface drain that is connected to the Sanitary Sewer system. The drainage from any dumpster pads cannot discharge to storm sewer; 4. An ADEM NOI is required for any land disturbance activity over 1 acre. Provide a copy of the ADEM registration information for the site prior to the issuance of a Land*

Disturbance permit; 5. A copy of the USACOE Section 404 Permit must be submitted prior to any construction begins within the existing isolated wetlands; 6. A permit will be required from ALDOT for the proposed revisions to the existing drainage system along, and under, the Service Road; and 7. One (1) existing easement is under review for vacation. Show and label all existing easements, recently vacated easements (if any), and any easements that are proposed to be vacated);

- 6) subject to Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile); and*
- 7) submittal of two copies of a revised site plan prior to signing of the Final Plat for the Subdivision.

Sidewalk Waiver: Based on the preceding, it is recommended that this application be approved.

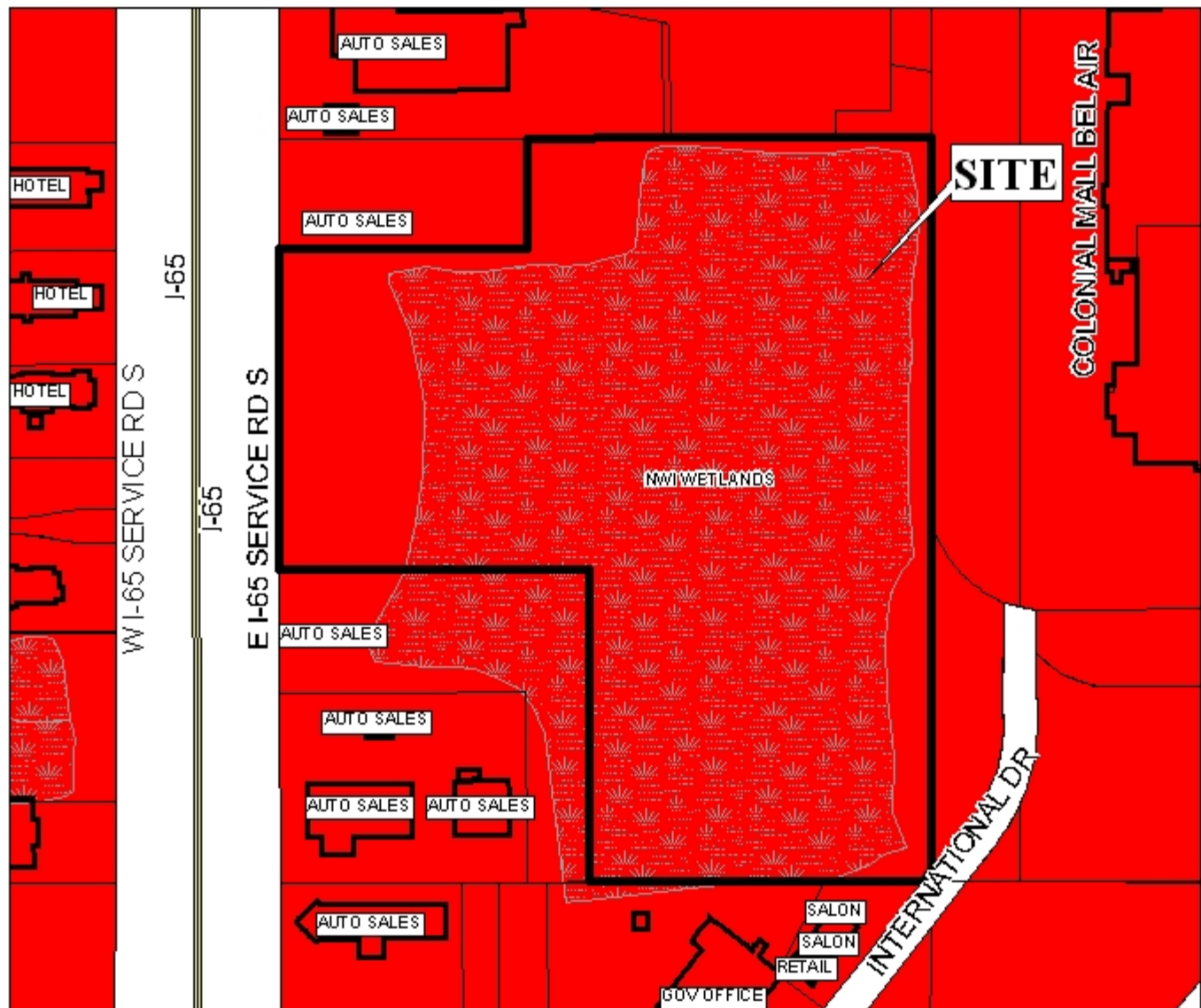
LOCATOR MAP



APPLICATION NUMBER 25, 26 & 27 DATE March 7, 2013
APPLICANT I-65 East Service Road Development Subdivision, Resubdivision of Lot 1
REQUEST Subdivision, Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial land use.

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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



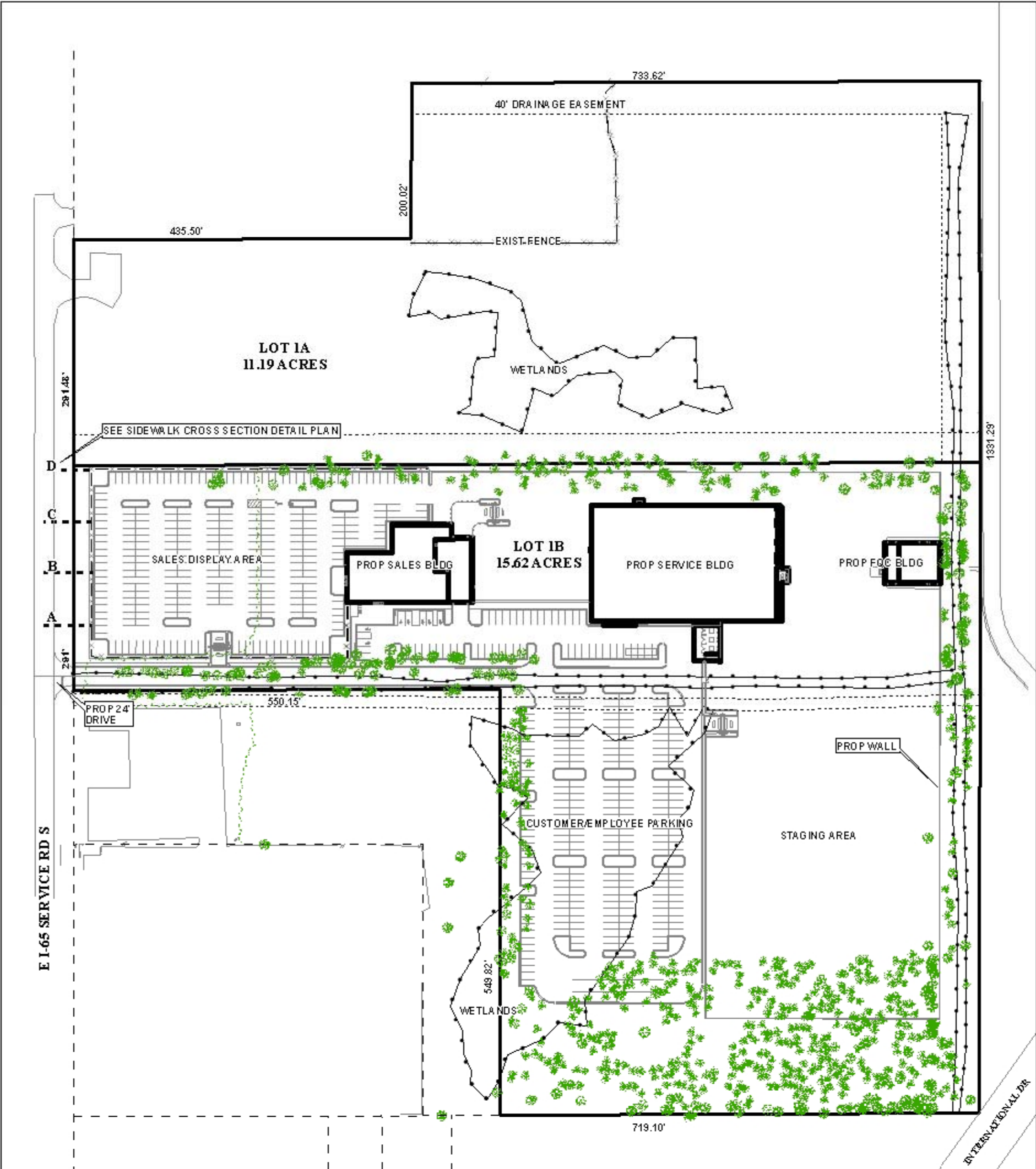
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SITE PLAN



The site plan illustrates the proposed development and lot configuration.

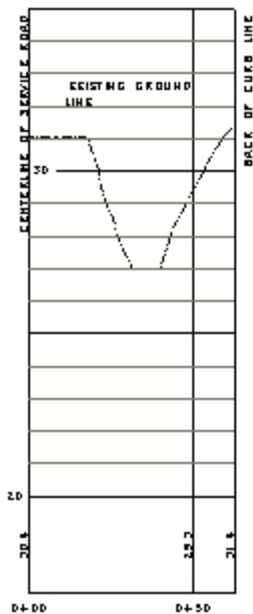
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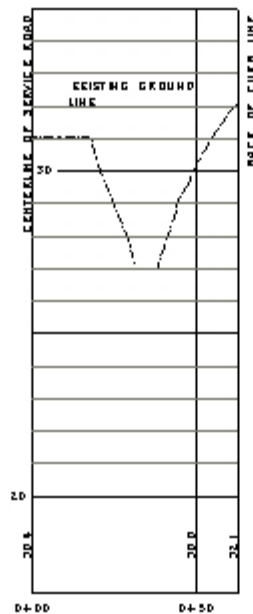
REQUEST Subdivision, Planned Unit Development

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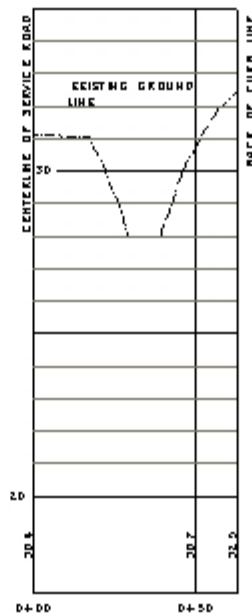
DETAIL SITE PLAN



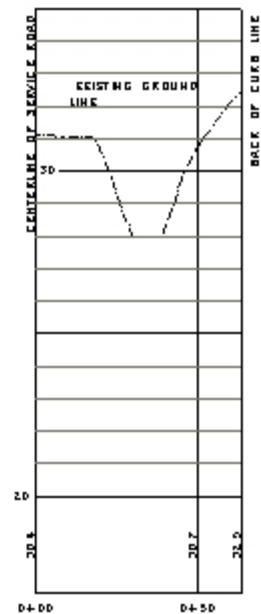
SIDEWALK A



SIDEWALK B



SIDEWALK C



SIDEWALK D

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