SEALE PLACE SUBDIVISION, SECOND ADDITION, RESUBDIVISION OF LOT 2

<u>Engineering Comments:</u> Must comply with all stormwater and flood control ordinances. Any work performed in the right-of-way will require a right-of-way permit.

<u>Traffic Engineering Comments</u>: Driveway numbers, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

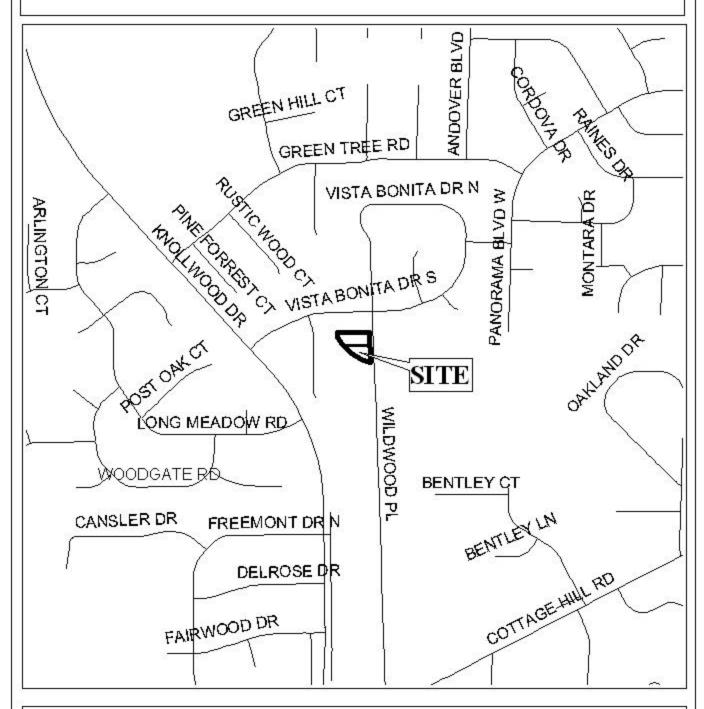
The plat illustrates the proposed $0.6 \pm$ acre, 2 lot subdivision which is located on the West side of Wildwood Place, $116' \pm$ South of Vista Bonita Drive South. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to subdivide one lot into two lots.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval.

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LOCATOR MAP



APPLICATIO	N NUMBER	24	DATE .	June 5, 2003	N
APPLICANT	Seale Place Subdiv	vision,	Second Addi	tion, Resubdivision	of Lot 2
REQUEST	Subdivision				
					NTS

SEALE PLACE SUBDIVISION, SECOND ADDITION, **RESUBDIVISION OF LOT 2** D R VISTA BONITA DR S A SPRIING BROOK CT SITE \mathbf{B} WILDWOOD PL

