

SIDEWALK WAIVER REQUEST STAFF REPORT**Date: July 15, 2004****NAME**

Premier Capital Funding, Inc.

LOCATION153 West I-65 Service Road North
(Northwest corner of West I-65 Service Road North and South Avenue)**PRESENT ZONING**

B-3, Community Business

ENGINEERING**COMMENTS**

With modifications to the city standards a sidewalk can be constructed. The roadside drainage has been enclosed and the applicant has installed 4 stormwater inlets to capture stormwater runoff. Where the sidewalk is immediately adjacent to the newly installed inlets, small retaining walls, possibly constructed of concrete retaining-wall block, could be provided to accommodate the relatively small change in elevation. If the drop-off from the sidewalk to the newly installed inlets is too great, handrails could be provided similar to the one provided on the site to the north.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Urban Forestry sees no tree related reason why the sidewalk cannot be constructed as required.

REMARKS

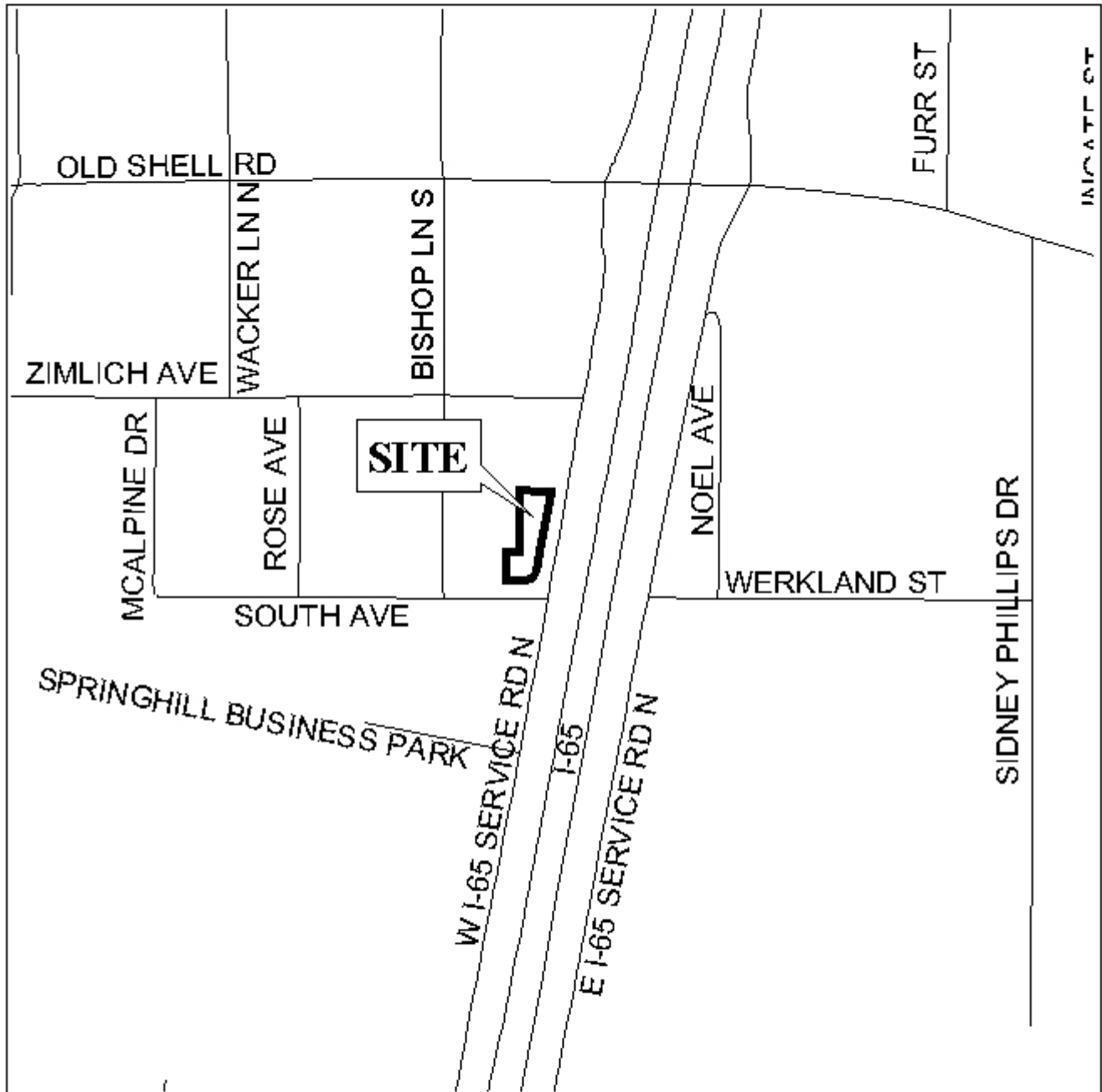
The applicant is requesting waivers of the sidewalk requirements along West I-65 Service Road North and South Avenue.

The applicant states that the construction of the sidewalk is not possible due to the significant grade change within the right-of-way. However, the topo and cross-section submitted by the applicant, as comments from the Engineering Department illustrate that the sidewalk could be constructed.

RECOMMENDATION

Based on the preceding, it is recommended that the sidewalk waiver be denied.

LOCATOR MAP



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Located to the North, East, and South of the site are miscellaneous offices; to the West are single family residential dwellings.

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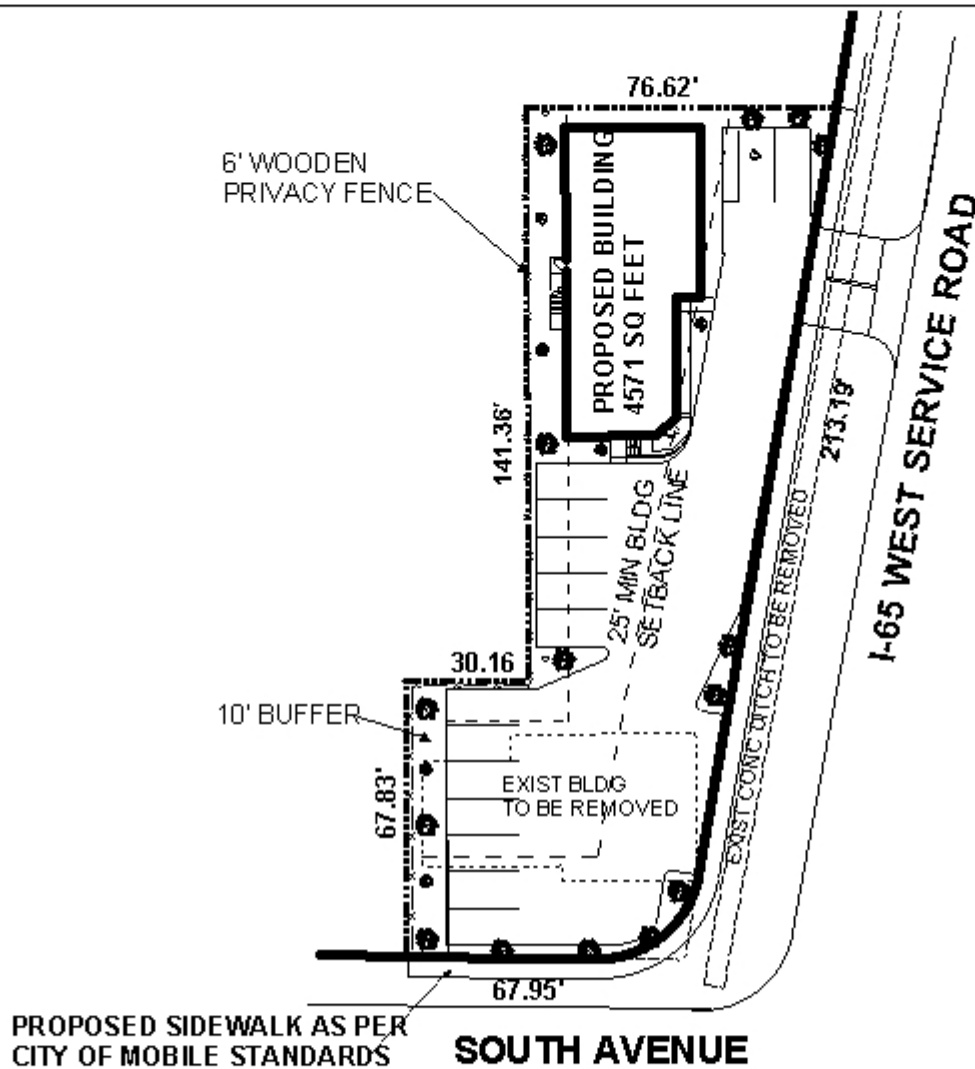
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LEGEND

| | | | | | | | | | | | | |
|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|
| R-1 | R-2 | R-3 | R-B | H-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |
|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|-----|-----|



SITE PLAN



The site is located on the Northwest corner of West I-65 Service Road North and South Avenue. The plan illustrates the proposed building, parking, and sidewalks.

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