

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: January 17, 2008****DEVELOPMENT NAME**

Paul Persons

LOCATION4474 Halls Mill Road
(North side of Halls Mill Road, 4/10 mile+ West of the
North terminus of Riviere du Chien Road)**SUBDIVISION NAME**

Paul Persons Subdivision

**CITY COUNCIL
DISTRICT**

District 4

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

1 Lot / 5.3 + Acres

CONTEMPLATED USEPlanned Unit Development Approval to amend the site plan
of a previously approved Planned Unit Development to
allow an additional parking lot.

**It should be noted, however, that any use permitted in the
proposed district would be allowed at this location if the zoning is
changed. Furthermore, the Planning Commission may consider
zoning classifications other than that sought by the applicant for
this property.**

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

**ENGINEERING
COMMENTS**

All storm water shall be captured on-site; if water is concentrated onto an adjacent property owner, a release agreement is required. All storm water should be conveyed to the existing detention pond. Verify that the pond has the capacity for the additional runoff. It is the responsibility of the applicant to look up the site in the City of Mobile (COM) GIS system and verify if NWI wetlands are depicted on the site. If the COM GIS shows wetlands on the site, it is the responsibility of the applicant to confirm or deny the existence of wetlands on-site. If wetlands are present, they should be depicted on plans and/or plat, and no work/disturbance can be performed without a permit from the Corps of Engineers. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

URBAN FORESTRY**COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT**COMMENTS**

All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, with local amendments, and the 2003 International Existing Building Code.

REMARKS

The applicant is requesting Planned Unit Development Approval to amend the site plan of a previously approved Planned Unit Development to allow an additional parking lot.

The applicant is proposing to pave a graveled area to provide additional parking for employees. The site plan for the previously approved PUD, from the August 2, 2007 Planning Commission meeting, indicated that the parking area was a limestone-paved pipe lay-down yard. Zoning Inspectors discovered during various site visits that the lay-down yard was also being used for employee parking; limestone paving is not considered an appropriate surfacing material for vehicular parking in B-3 districts, but can be used for material lay-down. The application to amend the PUD was determined necessary when the applicant applied for a land disturbance permit to build a paved parking area.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Due to the previous issues with this site, it should once again be pointed out that PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The existing and proposed parking areas contain more than 10 spaces, thus the parking areas must comply with Section 64-6.A.3.c. of the Zoning Ordinance, *Lighting*, which states that “*if they contain ten (10) or more cars, lighting shall be provided and maintained during their operation, and shall be so arranged that the source of light does not shine directly into adjacent residential properties or into traffic.*”

RECOMMENDATION

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following condition:

- 1) Full compliance with all municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 24 DATE January 17, 2008

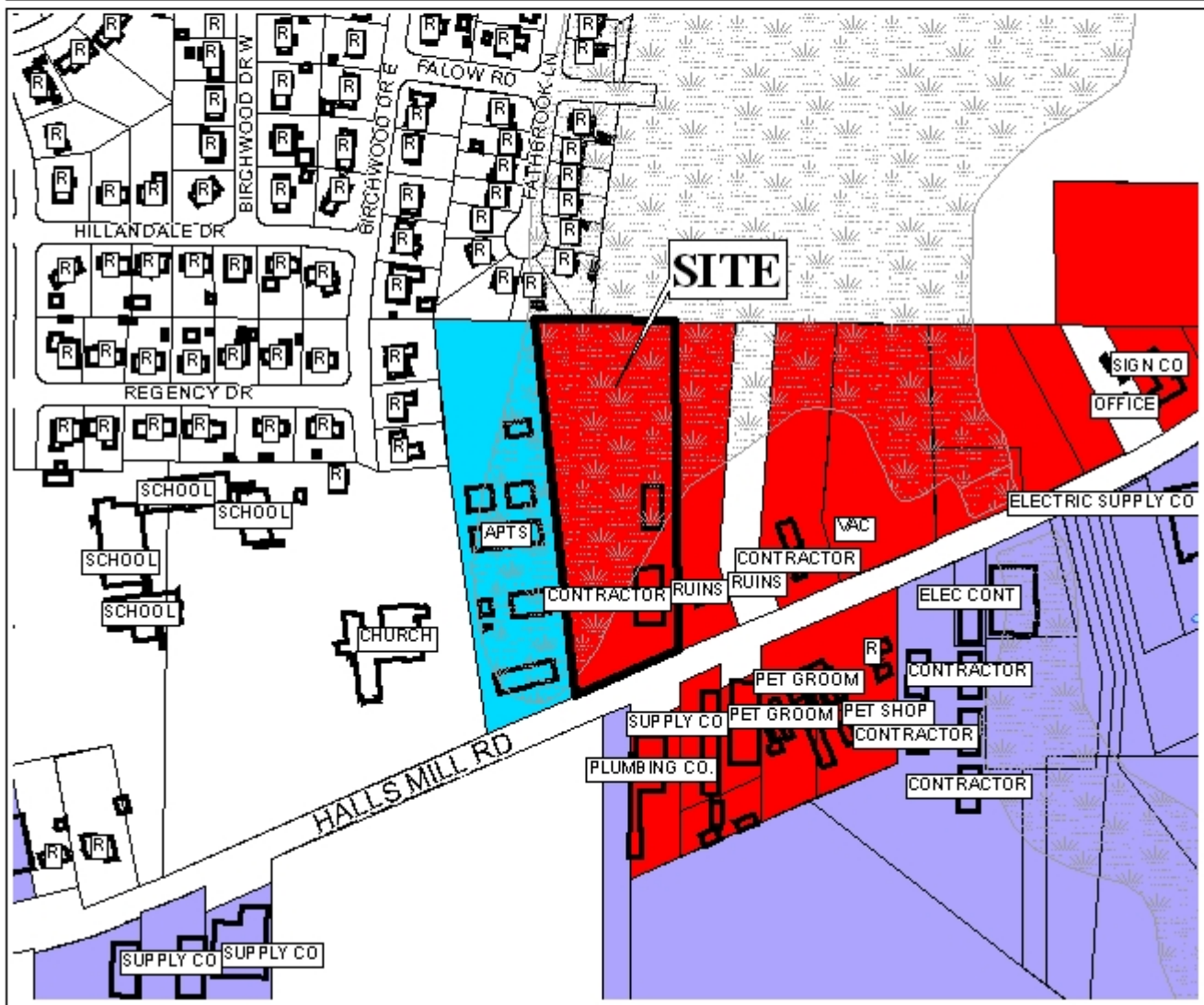
APPLICANT Paul Persons

REQUEST Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



This site is surrounded by miscellaneous landuse.

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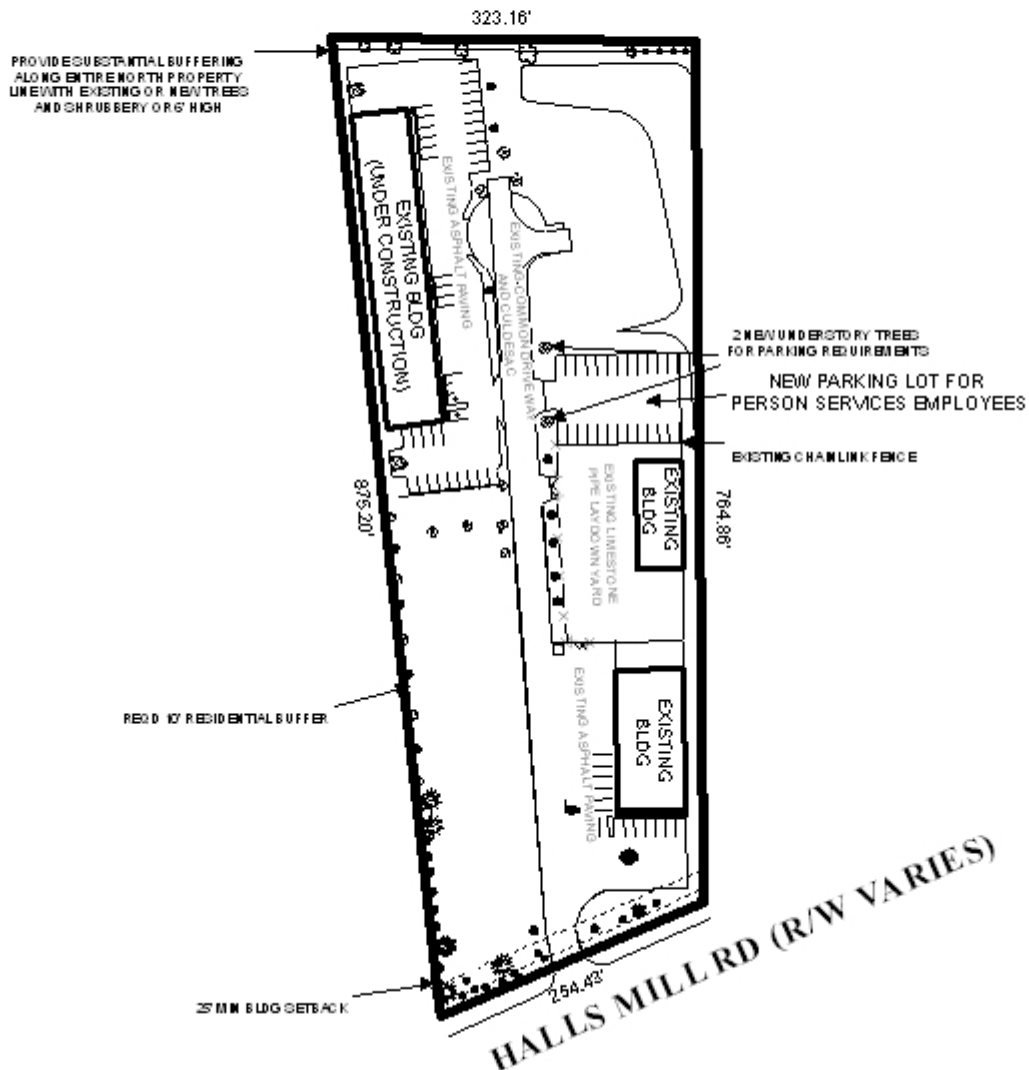
REQUEST Planned Unit Development

LEGEND

R-1	R-2	R-3	R-4	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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SITE PLAN



This site plan illustrates existing structures and proposed parking areas.

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