

**SIDEWALK WAIVER REQUEST  
STAFF REPORT****Date: February 17, 2005****NAME**

Hazel Gardner

**LOCATION**1809 Wolf Ridge Road  
(West side of Wolf Ridge Service Road, 100'± South of  
Beau Terra Drive South)**PRESENT ZONING**

B-2

**ENGINEERING  
COMMENTS**

Holdover recommended. If the sidewalk is constructed an existing roadside ditch will need to be enclosed or relocated closer to Wolf Ridge Rd. Since enclosure of the ditch is quite costly and not usually required by the Planning Commission it is assumed the ditch would be relocated. The cross-section provided was not to scale and therefore could not be evaluated properly. Construction of sidewalk MAY cause pedestrian or roadside hazard depending on proximity of relocated ditch to sidewalk or roadside.

**REMARKS**

The applicant is requesting a waiver of the sidewalk requirements along the Wolf Ridge Service Road frontage.

The applicant states that the sidewalk would be in the same location as the existing drainage ditch, and would create safety issues. The applicant also states that no adjacent property has a sidewalk.

While the adjacent properties do not have sidewalks, the commercial properties to the North along Wolf Ridge Road have provided sidewalks. Also, any future redevelopment of the commercial property abutting the North side of the site would require the installation of a sidewalk along Wolf Ridge Road.

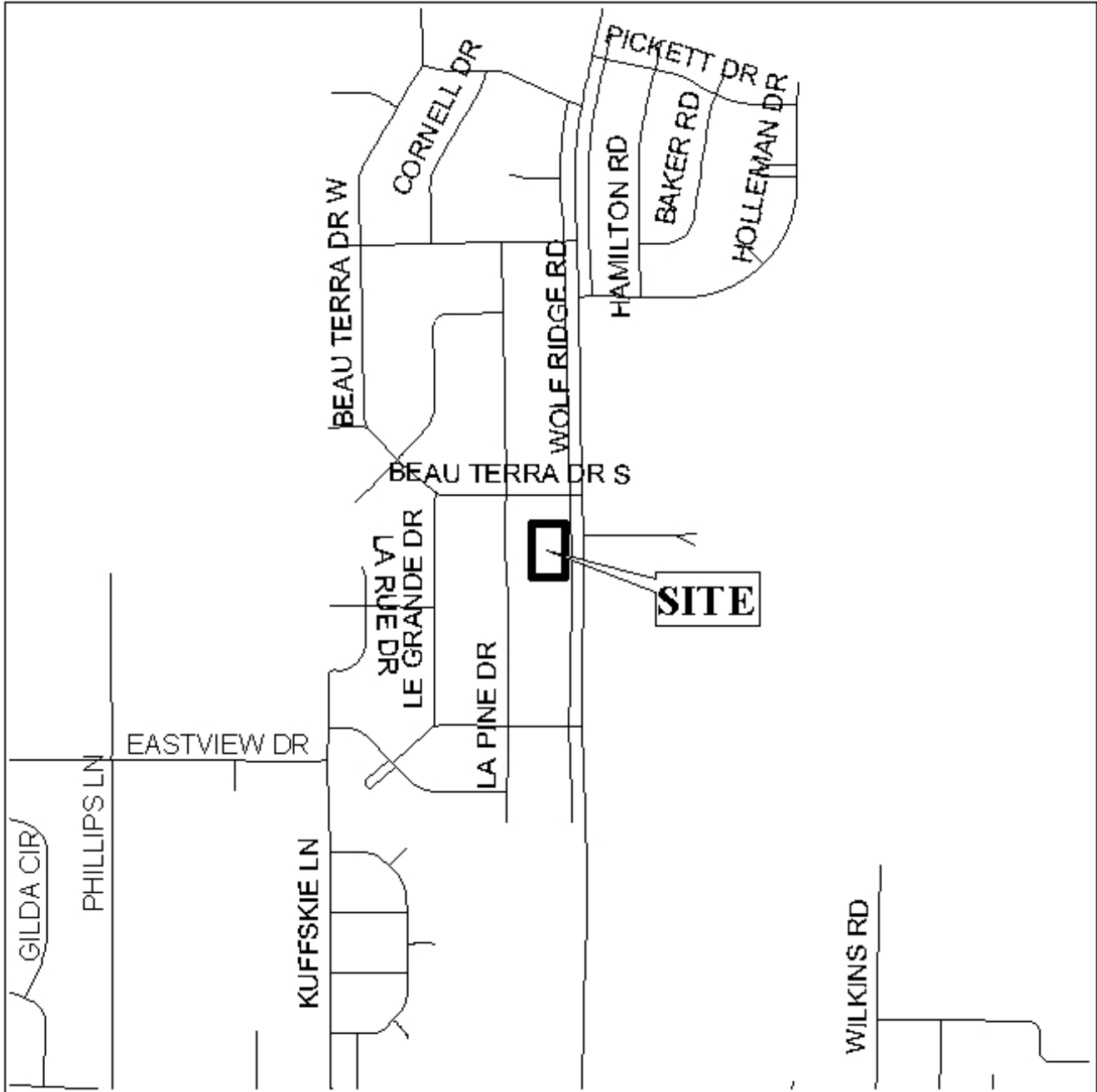
It should be noted that the Commission has rarely allowed the absence of sidewalks in an area as justification for waiving sidewalk requirements.

Further, it has been the policy of the Commission to approve sidewalk waivers only in cases where there was an engineering reason or physical barrier that made installation of the sidewalk impracticable. Based on comments from the Engineering Department, a holdover is recommended so that a revised cross-section, drawn to scale, may be evaluated.

**RECOMMENDATION**

Based on the preceding, it is recommended that this application be held over to the March 3<sup>rd</sup> Planning Commission Meeting. The applicant should submit revised cross-sections drawn to scale by February 16, for evaluation of ditch and sidewalk safety issues.

## LOCATOR MAP

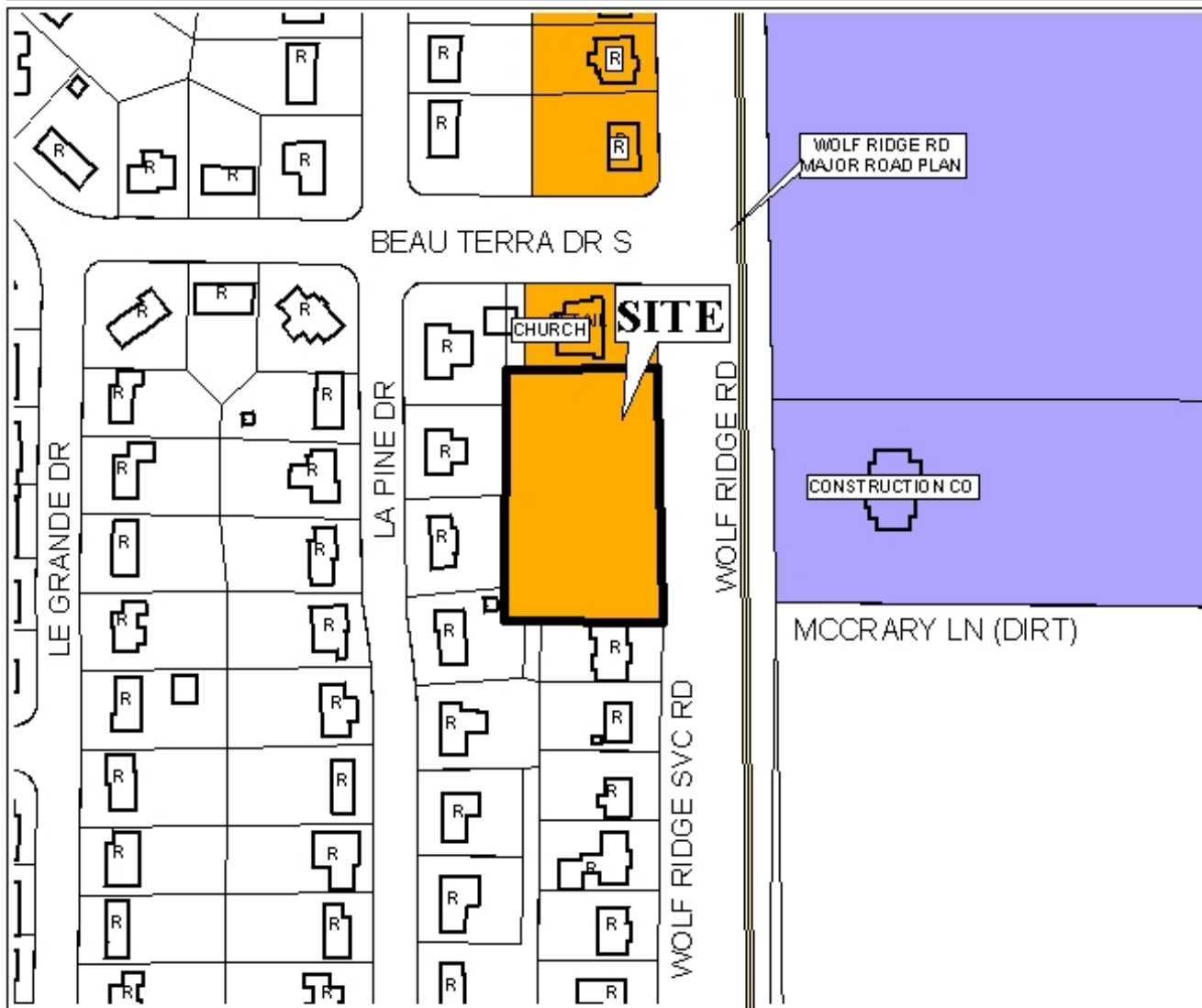


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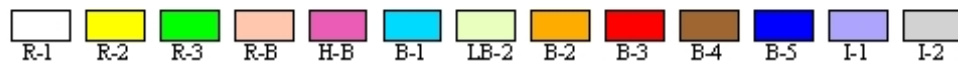
# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Single-family residential dwellings are to the South and West of the site.  
A vacant commercial building is to the North and a construction company  
is to the East.

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LEGEND

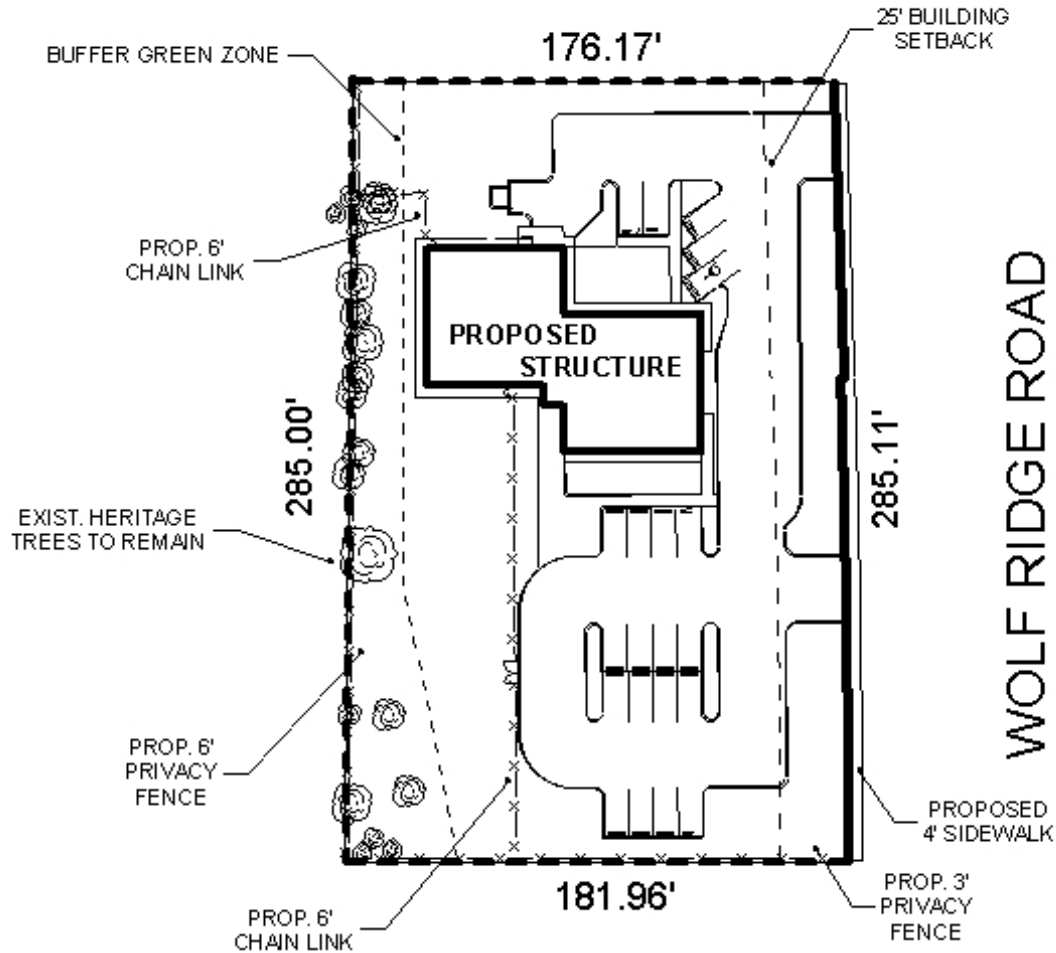


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## SITE PLAN



The site is located on the West side of Wolf Ridge Service Road, 100' South of Beau Terra Drive South. The plan illustrates the existing setback and area to be rezoned.

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